

Carter, Richard

From: Gordon Kuper [REDACTED]
Sent: 10 June 2022 12:31
To: Quille, Eva; Euzger, Heidi; Bell, Emily; Feldman, Lesley
Cc: Mary Crowley; andrewbush [REDACTED]; steph_berdah [REDACTED]; Ros Charles; David Carman; Young, Cllr Nigel; Innocenti, Cllr Giulia; Perlberg, Cllr Matthew; Bates, Andy; Jeremy Charles; [REDACTED]; Mills, Jonathan; Springthorpe, Mark; Gaudin, Fabien
Subject: RE: Barnet Planning - 21/6722/HSE - Site Visit
Attachments: Council objections 216722HSE 08062022.pdf

** Warning External Email **

Dear Emily

(removing some of the addresses from the email)

Thank you taking your time to go through the attachment of corrections of the current report in addition to forwarding the matter to your hydrogeology team.

As agreed, it would be helpful for you to visit with your manager to see the site and understand the impact on the broader area. We can show you the impact on Corringham and Middleton Roads.
Please kindly let us know when works for a visit.

Additionally, once you have further reviewed the attachment, perhaps we could have a further discussion?

I have also reached out to Mr Jonathan Mills to try arrange a site visit to assess the impact (and danger to) the beautiful 120 year old Oak in our gardens.

Many thanks
Gordon Kuper
[REDACTED]

From: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Sent: 09 June 2022 18:22
To: Gordon Kuper [REDACTED]; Gaudin, Fabien <fabien.gaudin@barnet.gov.uk>; Bates, Andy <Andy.Bates@Barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>
Cc: Mary Crowley [REDACTED]; andrewbush [REDACTED]; steph_berdah [REDACTED]; Ros Charles [REDACTED]; David Carman [REDACTED]; Young, Cllr Nigel <Cllr.N.Young@Barnet.gov.uk>; Innocenti, Cllr Giulia <Cllr.G.Innocenti@Barnet.gov.uk>; Perlberg, Cllr Matthew <Cllr.M.Pperlberg@Barnet.gov.uk>; McDonald, Stephen <Stephen.McDonald@Barnet.gov.uk>; Shaw, Cath <Cath.Shaw@Barnet.gov.uk>; Narenthira, Cllr Nagus <Cllr.N.Narenthira@Barnet.gov.uk>; Jeremy Charles [REDACTED]@gmail.com>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>; [REDACTED]@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>; Mills, Jonathan <Jonathan.Mills@Barnet.gov.uk>
Subject: RE: Barnet Planning - 21/6722/HSE - Assistance Requested

Dear Mr Kuper

Thank you for your email.

I am afraid that I was only drawn into this matter as one of the planning leads for the meeting last night and I have not otherwise been involved in the case. I have however copied in the case officer (Emily Bell) and the relevant planning manager (Lesley Feldman) and to discuss taking the matter forward with you.

Regards,

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

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From: Gordon Kuper [REDACTED]
Sent: 09 June 2022 14:48
To: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>; Gaudin, Fabien <fabien.gaudin@barnet.gov.uk>; Bates, Andy <Andy.Bates@Barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>
Cc: Mary Crowley [REDACTED]; andrewbush [REDACTED] steph_berdah [REDACTED]; Ros Charles [REDACTED]; David Carman [REDACTED]; Young, Cllr Nigel <Cllr.N.Young@Barnet.gov.uk>; Innocenti, Cllr Giulia <Cllr.G.Innocenti@Barnet.gov.uk>; Perlberg, Cllr Matthew <Cllr.M.Pperlberg@Barnet.gov.uk>; McDonald, Stephen <Stephen.McDonald@Barnet.gov.uk>; Shaw, Cath <Cath.Shaw@Barnet.gov.uk>; Narenthira, Cllr Nagus <Cllr.N.Narenthira@Barnet.gov.uk>; Jeremy Charles [REDACTED] Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>; [REDACTED] @Barnet.gov.uk; Planning.Committees <Planning.Committees@Barnet.gov.uk>; [REDACTED] @Barnet.gov.uk
Subject: RE: Barnet Planning - 21/6722/HSE - Assistance Requested
Importance: High

**** Warning External Email ****

Dear Mr Springthorpe

Thank you for taking this under further consideration. As you can see much consideration and thought has gone into our objections from nearly the entire neighbourhood.

Would it be possible to arrange a meeting to discuss our points in finer details with you and your team?

Many thanks
Gordon Kuper
[REDACTED]

From: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>

Sent: 08 June 2022 10:34

To: Gordon Kuper [REDACTED]; Gaudin, Fabien <fabien.gaudin@barnet.gov.uk>; Bates, Andy <Andy.Bates@Barnet.gov.uk>; Narenthira, Cllr Nagus <Cllr.N.Narenthira@Barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>

Cc: Mary Crowley [REDACTED]; andrewbush@barnet.gov.uk; steph_berdah@barnet.gov.uk; Ros Charles [REDACTED]; David Carman [REDACTED]; Young, Cllr Nigel <Cllr.N.Young@Barnet.gov.uk>; Innocenti, Cllr Giulia <Cllr.G.Innocenti@Barnet.gov.uk>; Perlberg, Cllr Matthew <Cllr.M.Pperlberg@Barnet.gov.uk>; McDonald, Stephen <Stephen.McDonald@Barnet.gov.uk>; Shaw, Cath <Cath.Shaw@Barnet.gov.uk>; Jeremy Charles [REDACTED]; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>; [REDACTED] <[\[REDACTED\]@Barnet.gov.uk](mailto:[REDACTED]@Barnet.gov.uk)>; Planning.Committees <Planning.Committees@Barnet.gov.uk>

Subject: RE: Barnet Planning - 21/6722/HSE - Assistance Requested

Dear Mr Kuper et al

Thank you for your email.

Following on from questions being raised in respect of the Committee Report after its publication last week, officers have already been involved in discussions and have moved to recommend withdrawal – which was agreed by the Chair at the call-over meeting yesterday.

As such, the item will not be heard at the meeting this evening. Formal notification will follow from the Governance service.

Regards,

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

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From: [REDACTED]@cranbrook.co.uk>

Sent: 10 June 2022 16:08

To: Bell, Emily <Emily.Bell@Barnet.gov.uk>

Cc: Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Quille, Eva <Eva.Quille@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>; Thomas Levinson [REDACTED]; Juliet Levinson [REDACTED]

Subject: RE: 40 Corringham Road NW11 7BU - 21/6722/HSE

**** Warning External Email ****

Good afternoon Emily

Thank you for your email and please find the following information attached as requested – which relates to the drainage provision and waterproofing for the proposed basement

1. 2334-200.1-C-Proposed Basement & GF Layouts – now indicating foul and surface water drainage sumps to front lightwell
2. TL 002 - Delta Membrane - V3 Drained Cavity Dual Sump
3. TL 003 - Delta Membrane - V3 Foul Sump
4. TL 004 - Delta MS 20 Floor Membrane
5. TL 005 - Delta MS 500 Membrane - Stud Wall Concealed

The Delta information provided is technical literature relating to the foul + groundwater sumps and also the waterproof membrane systems to the basement floor and walls

We look forward to hearing from you further once the council's drainage engineer has reviewed the report by H Fraser Consulting

Kind regards

[REDACTED]

Senior Architectural Designer

Cranbrook

Basement design & construction



732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: Bell, Emily <Emily.Bell@Barnet.gov.uk>

Sent: 10 June 2022 10:52

To: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>

Cc: Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Quille, Eva <Eva.Quille@Barnet.gov.uk>

Subject: RE: 40 Corringham Road NW11 7BU - 21/6722/HSE

Good morning David,

Thankyou for your email. We are consulting the council's drainage engineer on the report by H Fraser Consulting. It would be useful if you could submit information on the drainage works that are proposed as part of the basement construction.

Kind regards,

Emily Bell

Senior Planning Officer

Finchley and Golders Green

Development and Regulatory Services

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW

Tel: 020 8359 3589 | Web: barnet.gov.uk



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From: [REDACTED] <[REDACTED]@cranbrook.co.uk>

Sent: 10 June 2022 09:17

To: Bell, Emily <Emily.Bell@Barnet.gov.uk>

Cc: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Quille, Eva <Eva.Quille@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>; Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Juliet Levinson [REDACTED]; Thomas Levinson [REDACTED]

Subject: 40 Corringham Road NW11 7BU - 21/6722/HSE

** Warning External Email **

Good morning Emily

We tried to contact you by phone a few moments ago

Can you please confirm whether you require any additional information from us in response to the report by H Fraser Consulting?

We look forward to hearing from you

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]
732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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Kind regards

[REDACTED]
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From: [REDACTED]
Sent: 09 June 2022 09:28
To: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Cc: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Quille, Eva <Eva.Quille@Barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Juliet Levinson [REDACTED] Thomas Levinson [REDACTED]
Subject: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Good morning Mark

Thank you for your email

This is obviously very disappointing news

Please can you provide us with copies of all reports and correspondence that you have received in challenge to the council's appraisal of our application

We are interested in anything has yet to be published on your website

Please note that we are copying our clients on this email, and will do for all future correspondence

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook
Basement design & construction

[REDACTED]
732 Cranbrook Road
Ilford
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www.cranbrook.co.uk



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From: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>

Sent: 08 June 2022 16:01

To: [REDACTED] <[REDACTED]@cranbrook.co.uk>

Cc: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Quille, Eva <Eva.Quille@Barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>

Subject: FW: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Dear [REDACTED]

Further to your email, I apologise for the late notice in respect of the withdrawal of the item from the agenda tonight.

As per the email from [REDACTED], following the publication of the Committee Report, the LPA have received a number of challenges to the appraisal – most significantly in respect of the impact from and on flood water management – including latterly a report received late last night

The LPA have not had time to properly consider these and it was determined that in the likely event that questions were raised to or by Members, officers would not be in a position to give a qualified response and the matter would then in any event be deferred.

The case officer and relevant decision-manager will contact you shortly regarding the detail of these challenges and taking the matter forward.

I apologise again for the delay in determining this application

Regards,

Mark

Mark Springthorpe BA(Hons) MA(Dist)

Planning Manager – Planning & Building Control

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW

Tel: 020 8359 4270 | Web: barnet.gov.uk

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Local Plan 2021-2036

Consultation: 28 June to 9 August

visit: www.engage.barnet.gov.uk



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From: [REDACTED]@cranbrook.co.uk>

Sent: 08 June 2022 14:51

To: Quille, Eva <Eva.Quille@Barnet.gov.uk>

Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>

Subject: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

**** Warning External Email ****

Good afternoon Eva

We write regarding the email below from your colleague [REDACTED]

This is obviously extremely disappointing given that we have already waited 6 months for a decision

Please can you confirm why our application has been withdrawn from tonight's committee?

Also, please can you provide full details of the circumstances that have lead to the withdrawal from committee and any correspondence + documents which relate to this

We would appreciate it if you could provide this information today, so we can offer a full explanation to our client, wo will be very disappointed by this news

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]
732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: Planning.Committees <Planning.Committees@Barnet.gov.uk>

Sent: 08 June 2022 13:40

Subject: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Hello,

I am writing to inform you that following agreement with the Chair and Planning Officers, the application (40 Corringham Road NW11 7BU - 21/6722/HSE) which was listed for Planning Committee A on 8 June 2022 is withdrawn for the reason set out below:

In view of a challenge to the content of the Committee Report being brought to the attention of Managers following publication, the item has been withdrawn to enable further consideration of the impact both on and from the development in respect of flood management

Kind regards,


Senior Governance Officer – Governance Service, Assurance Group

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW

Tel:  | Mobile:  | Web: barnet.gov.uk

Barnet Online: www.barnet.gov.uk

Committee Papers: <http://barnet.moderngov.co.uk>



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DELTA DUAL SUMP V3

Installation Instructions and Technical Details



o Application

The Dual Sump V3 is designed to excavate water collected from the Delta cavity membrane system installed in basement applications.

The Dual Sump V3 can also be used for collecting wastewater from small light wells, baths, showers, wash hand basins, sinks, dishwashers and washing machines. It is not possible to collect wastewater from a W.C.

Ground water in basement applications is collected via the cavity membrane system through the clear opening at the top of the chamber or can enter the chamber through one of the three 110mm inlets on the side of the chamber. It is important to note that ground water is collected at slab level to prevent de-watering below this level.

o Method of operation

The Dual Sump V3 chamber is manufactured from high-density polyethylene and is designed to resist ground water pressure.

Two powerful Delta 302SE/HP pumps are fitted, one to operate as the main duty pump the other to act as a back up. During regular maintenance the operation of the two pumps are reversed.

The sump chamber is fitted with two non-return valves to prevent water travelling back into the chamber once the pumps have stopped and a gate valve for isolation for maintenance purposes.

o Maintenance

The Dual Sump V3 chamber is manufactured using high quality components designed to give a long a trouble free life. With any piece of mechanical equipment regular preventative maintenance is important to keep this product working efficiently on a day-to-day basis. We recommend the sump is serviced twice / year by specialist pump engineers.

o Service

For service you may contact PPS (Packaged Pump Systems) who are the manufacturers of this equipment. **Telephone 01279 817470** or log on to **www.ppsgroupuk.com**

DUAL SUMP V3

Inlets, cable ducts, discharge pipe work and electrical connections

Inlet pipe work

The Dual chamber accepts standard 110mm underground drainage pipe.

Discharge pipe work.

The Dual chamber has been designed to accept the following pipe work types;

1¼" (32mm) standard solvent weld drainage pipe (use male iron adaptor supplied).

Heliflex reinforced flexible pipe work (hose tail and jubilee clip required - not supplied).

1¼" (32mm) PVC-U class C solvent welded pressure discharge pipe.

DO NOT USE PUSH FIT FITTINGS

Cable duct

The Dual chamber has been designed to accept the following pipe work types;

2" standard solvent weld drainage pipe

Electrical connections

Each pump and high level alarm are to be electrically connected to a non switched fused spur (total of three). This spur should have it's own dedicated supply from the main fuse board.

It is advisable to leave 500mm of the pump electrical cable in the sump to allow for servicing of the pump(s) outside the sump.

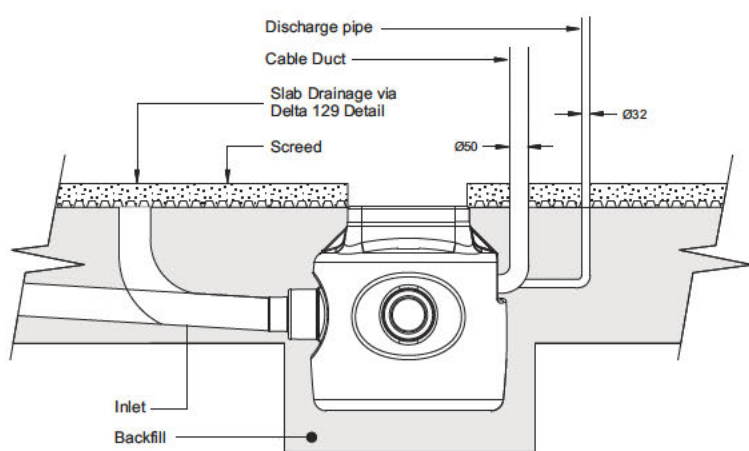
Float(s)

Ensure float(s) does not foul chamber sides. It may be necessary to rotate pipe work on pump to achieve this as there may have been some movement during transit.

INSTALLATION INSTRUCTIONS

It is important to note these instructions are for guidance only and it is the contractor's responsibility to satisfy himself that the installation procedure is in accordance with the prevailing ground conditions and good building practice, to eliminate any potential damage to the pump station either during or after installation.

Delta pump stations are manufactured from high density polyethylene are extremely robust. However as with any pre formed pump chamber they are susceptible to flotation.



**Typical Dual V3
Chamber Installation**

1. The pump station must be positioned on a flat, level surface a minimum 150mm thick.

2. Carefully position the pump chamber onto the base slab ensuring that no loose debris is inadvertently knocked onto the base slab, under the pump station during this procedure.

3. The pump station must be back filled with a mass concrete mix of minimum 150mm thickness and must be used in accordance with the ground conditions and be as dry as practical to prevent additional flotation pressures being exerted on the chamber.

The pump chamber **MUST** be ballasted with water before backfilling.

4. The ballast water inside the pump station should not be removed until the backfill has fully cured.



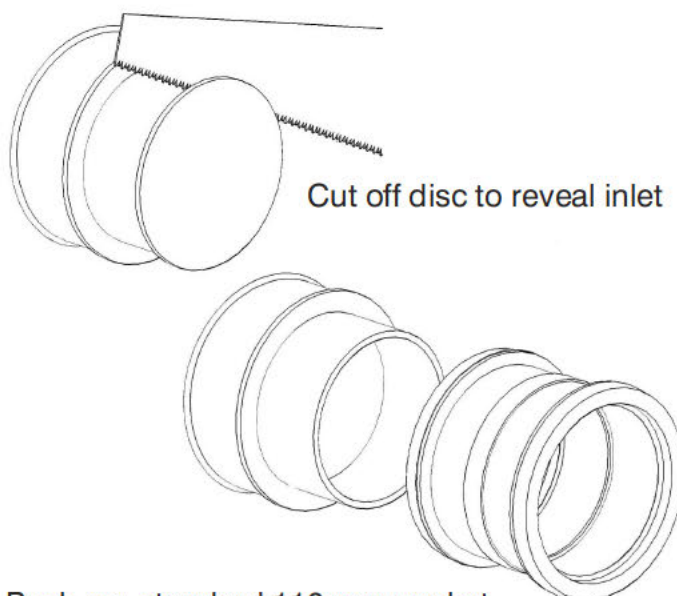
Cutaway of Dual Sump V3

5. It is extremely important that once the pump station has been installed and all connections made, the drainage system is flushed through and all sand, silt, rubble and general debris removed from the pump chamber. **FAILURE TO DO THIS WILL INVALIDATE THE WARRANTY ON THE PUMPS.**

6. The alarm panel housing (if applicable) must be sited adjacent to the pump station with 50mm cable ducts (with draw cords) for the cabling. If the control panel is not to be sited adjacent to the pump station Delta should be advised at order stage so that we can make recommendation as to the cabling required.

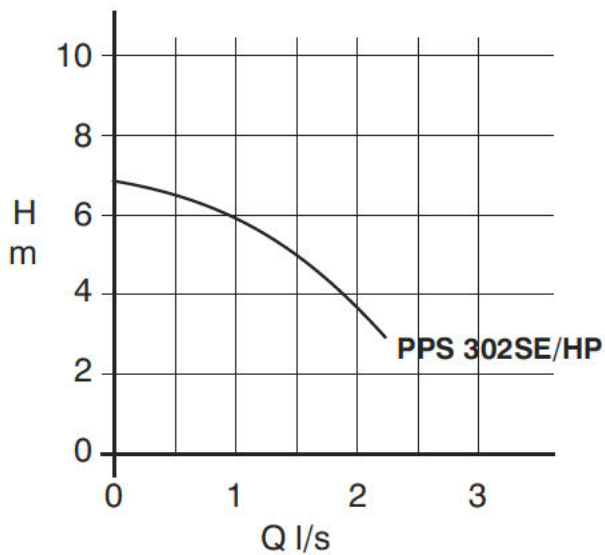
ALL ELECTRICAL CONNECTIONS MUST BE CARRIED OUT BY A QUALIFIED ELECTRICIAN.

110 mm Inlet Connection



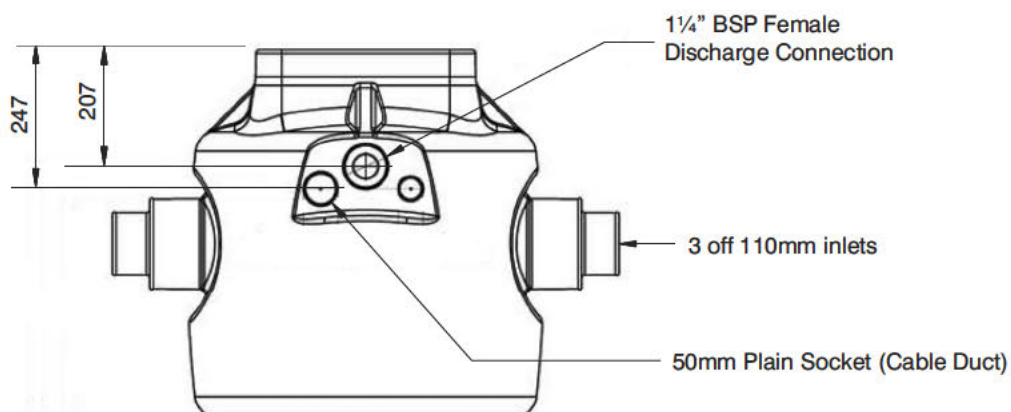
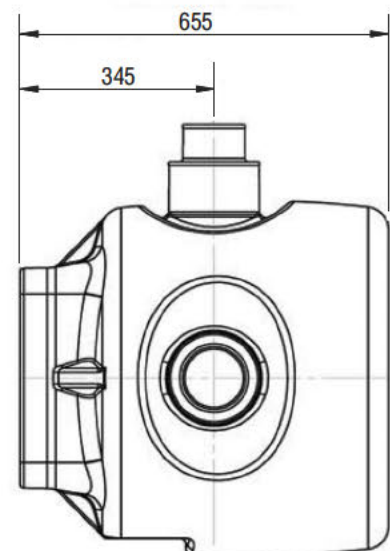
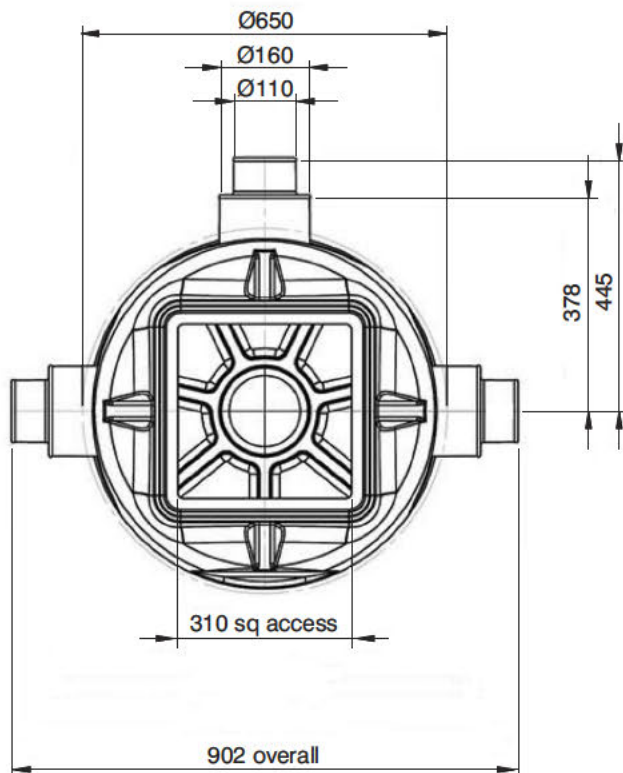
Push on standard 110 mm socket

DELTA DUAL RETROFIT SUMP - PPS 302SE/HP TECHNICAL DETAILS



Performance tolerance to ISO 2548,
Class C (water under normal conditions)

ISO 7/1 Rp	1 1/4"
Particle size	10mm Max.
P1	0.3 kW
P2	0.15 kW
50Hz 1-230 V	1.4 A
Power supply cable H 07 RN-F.G.	5m 3 x 0.75
Weight (Pump)	3.9kg net



DELTA HIGH LEVEL ALARM

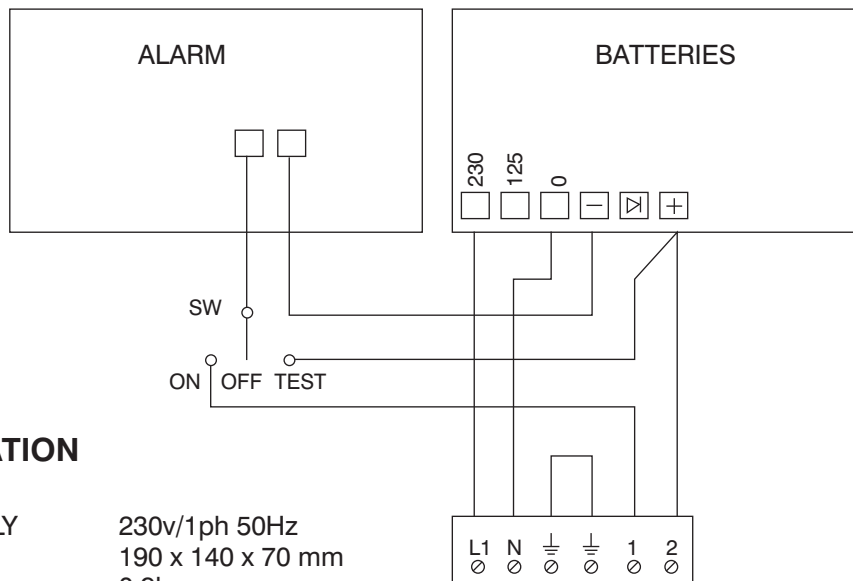
Alarm unit warns the state of alarm of a pumping plant, even in case of power failure.

SW

ON: FLOAT SWITCH ALARM

TEST: CHECKS THE PROPER RUNNING OF THE ALARM DEVICE

CIRCUIT DIAGRAM



SPECIFICATION

MAINS SUPPLY	230v/1ph 50Hz
SIZE	190 x 140 x 70 mm
WEIGHT	0,9kg
BATTERY	Ni Cd 6Vcc - 0.5Ah
ALARM	102db/1m -35/6mA/V - F 2700HZ
VISUAL ALARM	LED D5
RESTORATION TIME	APPROXIMATELY 12 HOURS
FULLY CHARGE	
BATTERY OPERATING TIME	APPROXIMATELY 12 HOURS

TERMINAL 1 - BROWN
TERMINAL 2 - BLACK
DO NOT USE BLUE
CORE FOR HIGH LEVEL
ALARM APPLICATION>

o High level alarm

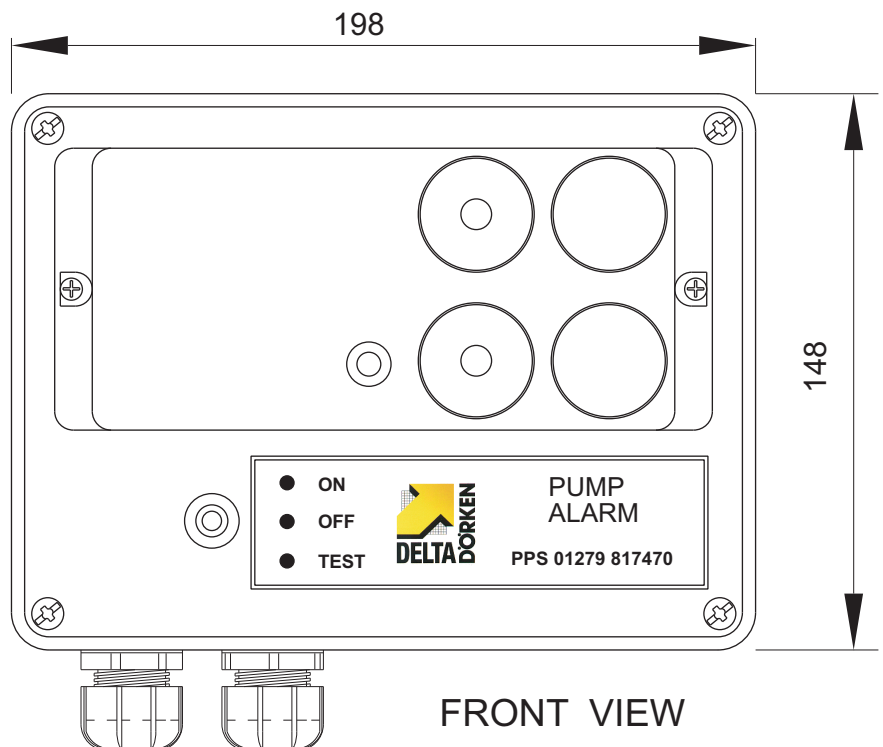
The Dual sump chamber can be fitted with a mains dependent / mains independent high-level alarm. An audible signal will be heard in case of pump failure. This alarm is normally operational from the mains power supply (240/1/50) however in case of a power cut the alarm is powered by a built in back up battery

Overall Size of Alarm Box:

L = 198 mm

W = 148 mm

D = 106 mm



FRONT VIEW

DISTRIBUTED BY:

Delta Membrane Systems Ltd.
Bassett Business Centre,
Hurricane Way, North Weald,
Epping, Essex CM16 6AA



Telephone 01992 523811

Fax 01992 524046

Web www.deltamembranes.com

Email info@deltamembranes.com

DELTA FOUL RETROFIT SUMP V3

Installation Instructions and Technical Details



o **Application**

The Foul Retrofit Sump V3 is designed to collect foul water from kitchens, bathrooms and utility rooms installed in basements.

The Foul Retrofit Sump V3 may not be suitable for collecting foul water from self-contained flats or facilities above basement level

It is not possible to collect ground water from the Delta cavity membrane system due to the possibilities of odour problems. It is important that the membrane system is completely sealed from the pump chamber.

Foul water will enter the chamber through one of the three 110mm inlets on the side of the chamber.

o **Method of operation**

The Foul Retrofit Sump V3 is manufactured from high density polyethylene and is designed to resist ground water pressure.

A single PPS 501VX pump is fitted in the chamber and designed to handle solid waste.

Due to the tank capacity and non macerating action, the pump will operate infrequently and is very quiet in operation.

The sump chamber is fitted with a brass non return valve to prevent waste water travelling back into the chamber once the pump has stopped.

o **Maintenance**

The Foul Retrofit Sump V3 is manufactured using high quality components designed to give a long a trouble free life. With any piece of mechanical equipment regular preventative maintenance is important to keep this product working efficiently on a day to day basis. We recommend the sump is serviced twice / year by specialist pump engineers.

o **Service**

For service you may contact PPS (Packaged Pump Systems) who are the manufacturers of this equipment. **Telephone 01279 817470** or log on to **www.ppsgroupuk.com**

DELTA FOUL RETROFIT SUMP V3

Inlets, cable ducts, discharge pipe work and electrical connections

Inlet pipe work

The Foul retrofit chamber accepts standard 110mm underground drainage pipe.

Discharge pipe work.

The Foul retrofit chamber has been designed to accept the following pipe work types;

2"/50mm standard solvent weld drainage pipe (use male iron adaptor supplied).

2"/50mm Heliflex reinforced flexible pipe work (hose tail and jubilee clip required - not supplied).

2"/50mm PVC-U class C solvent welded pressure discharge pipe.

DO NOT USE PUSH FIT FITTINGS

Cable duct pipe work.

The Foul retrofit chamber has been designed to accept the following pipe work type;

2" standard solvent weld drainage pipe

Electrical connections

The 501VX pump and high level alarm are to be electrically connected to non switched fused spurs (total of two). These spurs should have their own dedicated supply from the main fuse board.

It is advisable to leave 500mm of the pump electrical cable in the sump to allow for servicing of the pump(s) outside the sump.

Float

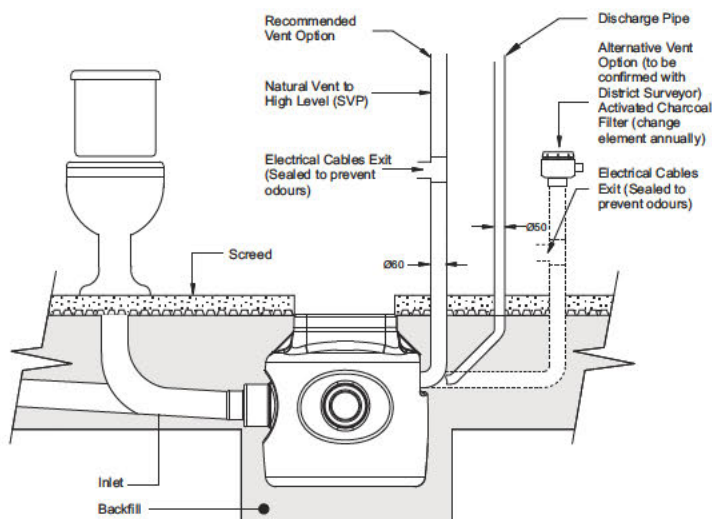
Ensure float switch does not foul chamber sides. It may be necessary to rotate pipe work on pump to achieve this as there may have been some movement during transit.

INSTALLATION INSTRUCTIONS

It is important to note these instructions are for guidance only and it is the contractor's responsibility to satisfy himself that the installation procedure is in accordance with the prevailing ground conditions and good building practise, to eliminate any potential damage to the pump station either during or after installation.

Delta pump stations are manufactured from high density polyethylene are extremely robust. However as with any per formed pump chamber they are susceptible to floatation and hydrostatic pressures exerted in high water table conditions.

1. The pump station must be positioned on a flat, level surface a minimum 150mm thick.



Typical Foul Retrofit Chamber Installation

2. Carefully position the pump chamber onto the base slab ensuring that no loose debris is inadvertently knocked onto the base slab, under the pump station during this procedure.

3. The pump station must be back filled with a mass concrete mix of minimum 150mm thickness and must be used in accordance with the ground conditions and be as dry as practical to prevent additional flotation pressures being exerted on the chamber.

The pump chamber **MUST** be ballasted with water before backfilling.

4. The ballast water inside the pump station should not be removed until the backfill has fully cured.



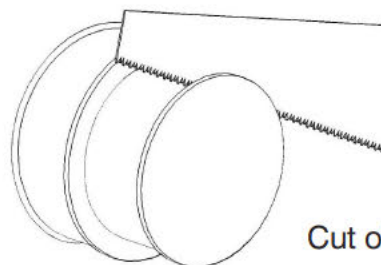
Cutaway of Foul Retrofit Sump

5. It is extremely important that once the pump station has been installed and all connections made, the drainage system is flushed through and all sand, silt, rubble and general debris removed from the pump chamber. **FAILURE TO DO THIS WILL INVALIDATE THE WARRANTY ON THE PUMPS.**

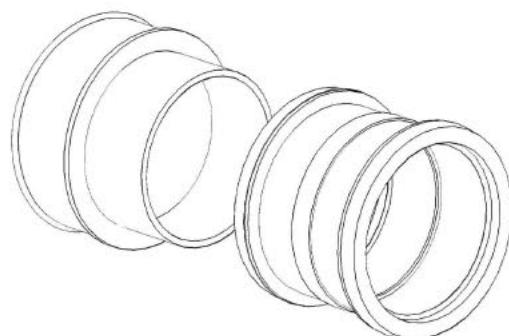
6. The alarm panel housing (if applicable) must be sited adjacent to the pump station with 50mm cable ducts (with draw cords) for the cabling. If the control panel is not to be sited adjacent to the pump station Delta should be advised at order stage so that we can make recommendation as to the cabling required.

ALL ELECTRICAL CONNECTIONS MUST BE CARRIED OUT BY A QUALIFIED ELECTRICIAN.

110 mm Inlet Connection

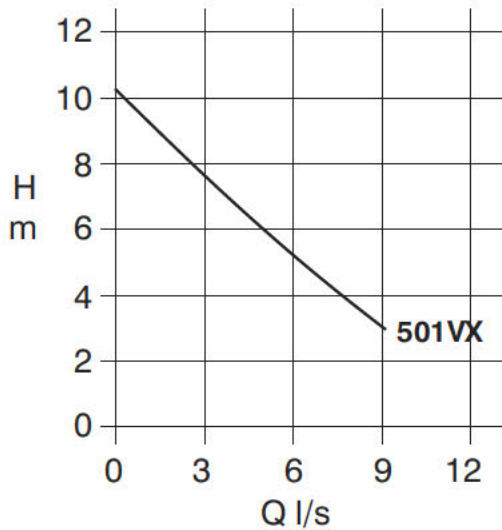


Cut off disc to reveal inlet



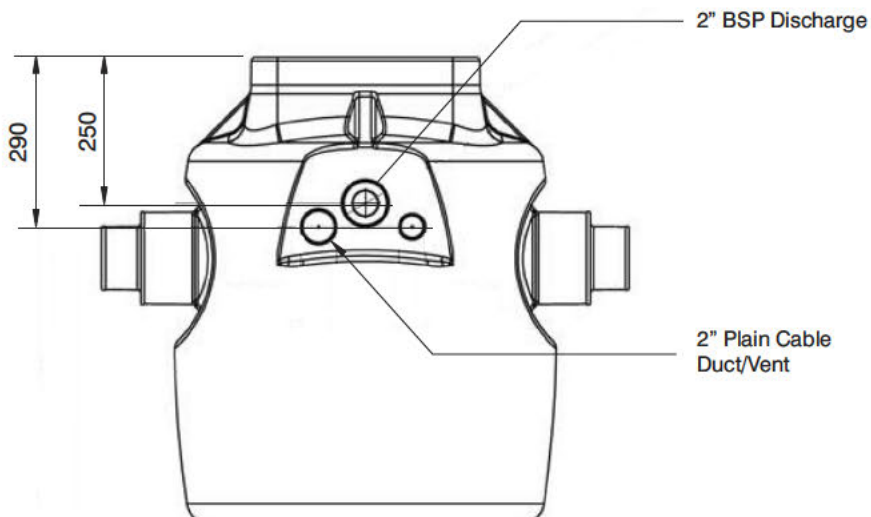
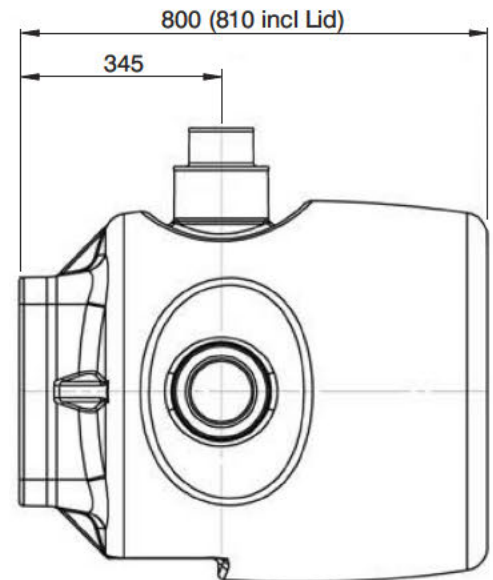
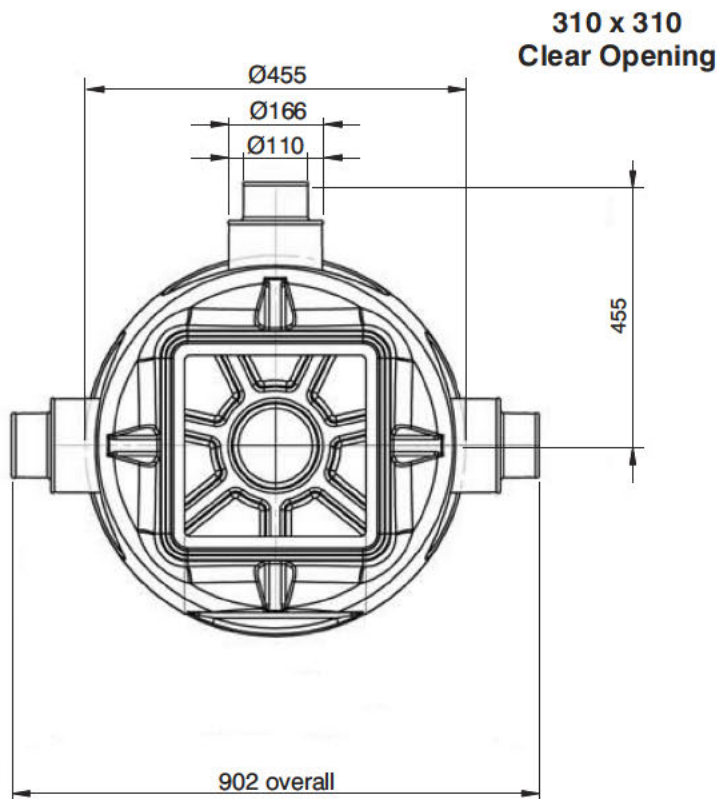
Push on standard 110 mm socket

FOUL RETROFIT SUMP - 501VX TECHNICAL DETAILS



Performance tolerance to ISO 2548,
Class C (water under normal conditions)

ISO 7/1 Rp	2"
Particle size	50mm Max.
P1	1.6 kW
P2	1.0 kW
50Hz 1-230 V	4.8 A
Power supply cable H 07 RN-F.G.	5m 3 x 1.0
Weight	15kg net



DELTA HIGH LEVEL ALARM

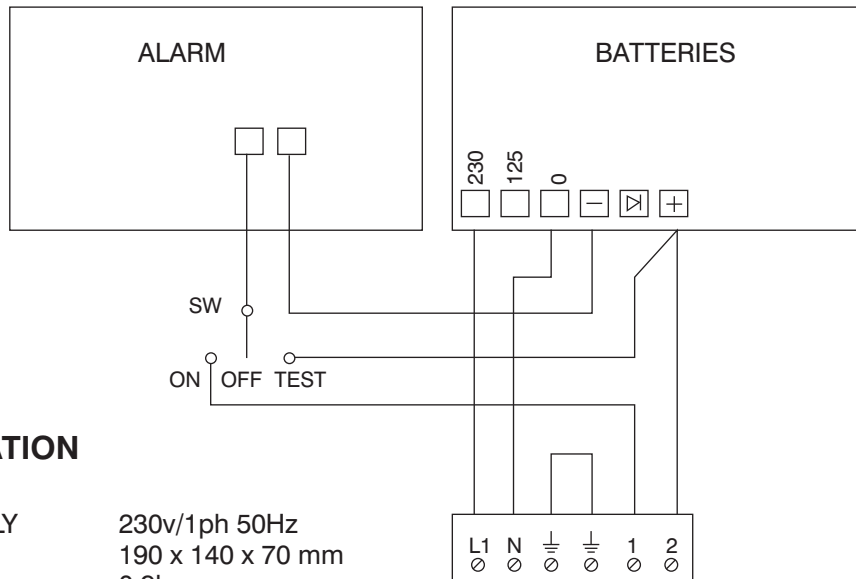
Alarm unit warns the state of alarm of a pumping plant, even in case of power failure.

SW

ON: FLOAT SWITCH ALARM

TEST: CHECKS THE PROPER RUNNING OF THE ALARM DEVICE

CIRCUIT DIAGRAM



SPECIFICATION

MAINS SUPPLY	230v/1ph 50Hz
SIZE	190 x 140 x 70 mm
WEIGHT	0,9kg
BATTERY	Ni Cd 6Vcc - 0.5Ah
ALARM	102db/1m -35/6mA/V - F 2700HZ
VISUAL ALARM	LED D5
RESTORATION TIME	APPROXIMATELY 12 HOURS
FULLY CHARGE	
BATTERY OPERATING TIME	APPROXIMATELY 12 HOURS

TERMINAL 1 - BROWN
TERMINAL 2 - BLACK
DO NOT USE BLUE
CORE FOR HIGH LEVEL
ALARM APPLICATION>

o High level alarm

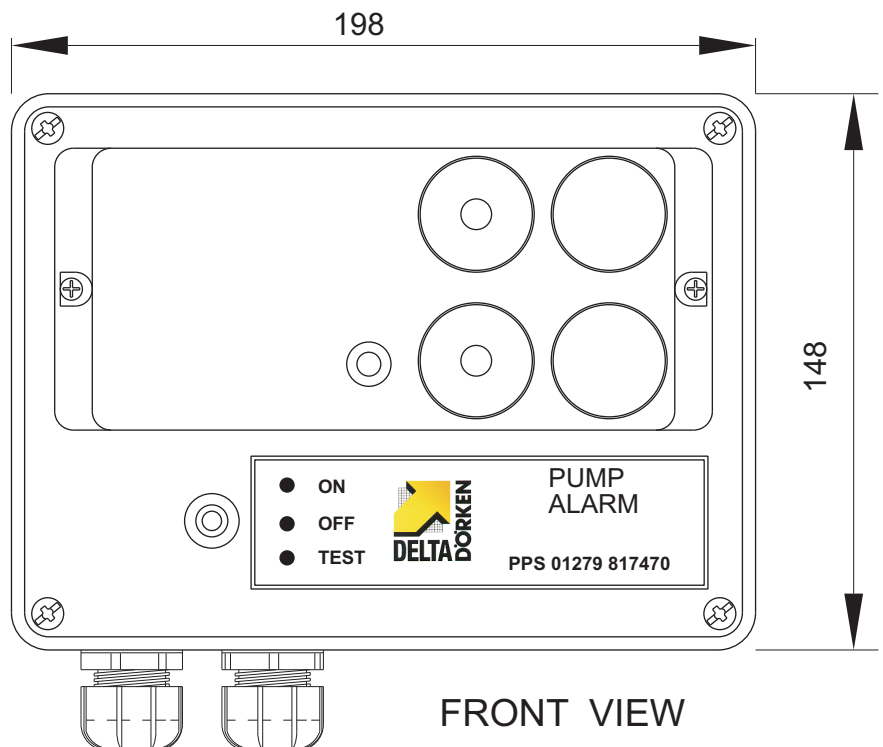
The Delta Foul Retrofit sump chamber can be fitted with a mains dependent / mains independent high-level alarm. An audible signal will be heard in case of pump failure. This alarm is normally operational from the mains power supply (240/1/50) however in case of a power cut the alarm is powered by a built in back up battery

Overall Size of Alarm Box:

L = 198 mm

W = 148 mm

D = 106 mm



FRONT VIEW

DISTRIBUTED BY:

Delta Membrane Systems Ltd.
Bassett Business Centre,
Hurricane Way, North Weald,
Epping, Essex CM16 6AA



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■ Drainage
system

■ For building
construction
and civil
engineering

■ For vertical
and horizontal
application

STANDARD QUALITY

DELTA®-MS 20

Technical data overview:

Material	Special high-density PE
Dimple height	20 mm approx.
Compressive strength	150 kN/m ² approx.
Drainage capacity	10 l/s · m approx.
Air gap between dimples	14 l/m ² approx.
Service temperature range	-30 °C to +80 °C
Fire resistance rating	Standard flammability as per DIN 4102 class B2; optional DIN 4102 class B1 for special requirements
Roll size	20 m x 2 m

DELTA®-MS 20 perforated

Technical data as for DELTA®-MS 20 except

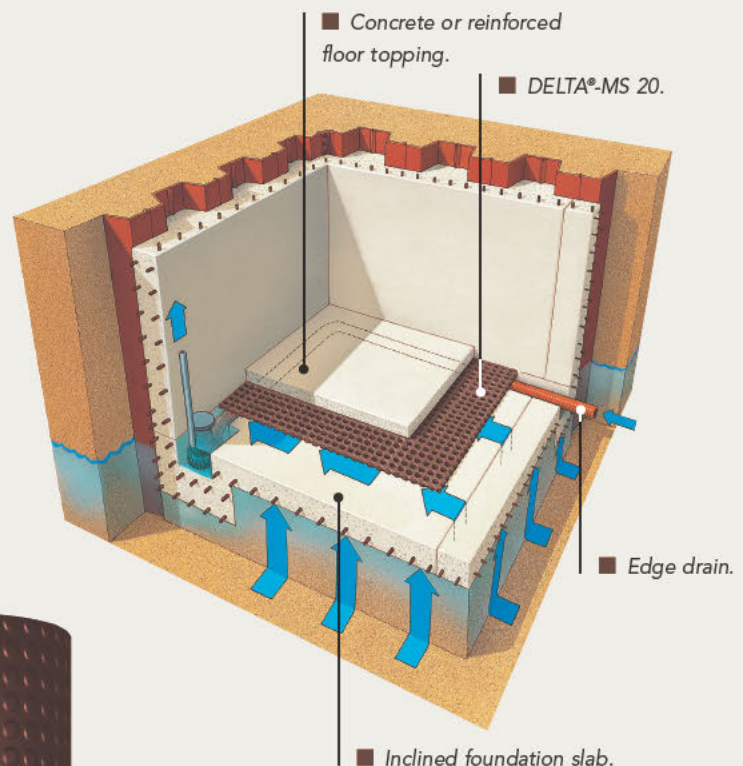
Compressive strength	110 kN/m ² approx.
Drainage capacity at 1 cm water column	0.5 l (s x m ²)

High drainage capacity in double-shell structures.

DELTA®-MS 20 ...

- ... is a compression-resistant, durable dimpled sheet made from special high-density polyethylene.
- ... offers outstanding safety thanks to its 20-mm dimples and its high drainage capacity.
- ... resists degradation in soil and chemical attack as well as being non-polluting for drinking water.
- ... may be applied as a cost-efficient horizontal or vertical permanent shuttering between a shotcrete shell or curtain wall and a concrete structural wall.
- ... drains off water emerging from the rocky subsoil when vertically applied.
- ... controls rising underground water when laid horizontally between the foundation and the surface layer of a carriageway, and conveys it towards the drain.
- ... is ideal for coping with water-related problems in tunnel construction. With the dimples facing outward, the sheet forms a continuous system of channels by which water is guided towards the drain.
- ... in the perforated version is a special high-capacity sheet for draining roof surfaces such as parking decks and roof gardens. Because of their porosity, sheets are permeable so that surplus water will drain away evenly.

DELTA®



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July 10, 2009 1:47 PM

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Delta MS500

Specifications

Cavity drainage membrane for use on walls, floors, vaults and tunnels as a waterproof system. A choice of finishes are available. Can also be used externally for waterproof protection of sub-ground structures.



Material	high density polyethylene
Thickness	approx. 0.6mm
Stud Height	approx. 8mm
Roll Size	3.0 x 20m
(With Flat edge of 7cm on one side)	2.4 x 20m 2.0 x 20m
Compressive Strength	>250 kN/m
Drainage Capacity	approx. >5 l/s - m approx. 300 l/min - m approx. 18,100 l/h - m
Air Volume Between Studs	approx. 5.31 l/m ²
Temperature Resistance	-30C to +80C
Chemical Properties	resistant to chemicals, resistant to root penetration, rot proof, neutral towards drinking water
Behaviour In Fire	B2 accord. to DIN 4102, in the case of special requirements possibly B1 accord. to DIN 4102 (test mark PA 2.2087)



Carter, Richard

From: Feldman, Lesley
Sent: 10 June 2022 18:16
To: SWM
Cc: Bell, Emily
Subject: 40 Corringham Road, NW11 7BU 21/6722/HSE
Attachments: RE: 40 Corringham Road NW11 7BU - 21/6722/HSE ; 30668R1.1 40 Corringham Road basement review Excl Appendix.pdf

Dear [REDACTED]

I am afraid I have a householder application for a basement I need your assistance with.

It is for a basement at the above property. It was due to be determined at committee this week but was withdrawn from the agenda following neighbour objections.

The site is in flood zone 1 so we decided that no basement impact assessment was required.

However local residents have commissioned their own drainage report and are challenging us, as the site is in a Barnet Highways defined CDA. I attach a copy of the report they submitted.

I also attach the applicant's drainage details for the scheme.

Would you please provide some advice for us as to whether there is likely to be a drainage implication and whether further drainage details and/or a full BIA is necessary.

The plans are available to view on the website, but if you wish me to send you anything please let me know.

Many thanks,

Lesley Feldman MRTPI

Planning Manager

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4974 | Mobile: 07801 992392 | Web: barnet.gov.uk

My working days are Mondays, Tuesdays, Wednesdays and Fridays



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**PLANNING
AWARDS 2022
SHORTLIST**



**H Fraser
Consulting**

Contaminated Land
and Hydrogeology

Review of basement planning application at 40 Corringham Road



From planning application documents 21/6722/HSE

Prepared for: Gordon Kuper
42 Corringham Road
London
NW11 7BU

Date: 07/06/2022

Status: FINAL

Reference: 30668R1

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Prepared by: H Fraser Consulting Ltd



**H Fraser
Consulting**
Contaminated Land
and Hydrogeology

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APPENDICES

Appendix A	Existing and proposed plans
Appendix B	Groundsure EnviroInsight
Appendix C	Groundsure historic maps



EXECUTIVE SUMMARY

An application has been made for the formation of a basement level with associated front lightwell at 40 Corringham Road. The development will comprise the excavation of basement floor beneath the entire property. A patio will extend beyond the existing development footprint.

The site is situated on London Clay and the rear of the property slopes southwest towards Middleton Road. The site is in Flood Zone 1, however properties on Middleton Road are at high risk of flooding due to surface water, and the area is within the Golders Green Critical Drainage Area.

The current surface water drainage is via a soakaway located at the bottom of the garden. It is likely that the soakaway is not fit for purpose as it is located on a slope on London Clay. This is corroborated by increased run-off observed in the garden of 29 Middleton Road, immediately downhill of the soakaway.

The Applicant has not provided sufficient information concerning proposed surface water, foul drainage, or impacts associated with groundwater and soil moisture. Specifically:

- The increase in flood risk due to increased hardstanding has not been assessed
- It is not known whether there will be foul drainage from the basement and how this will operate if the sewers are surcharged
- It is not clear how pre-development run-off rates will be maintained. Infiltration SuDS are likely to be ineffective at this location due to clayey ground conditions.
- Methods by which the development will be protected from soil moisture and groundwater ingress have not been specified; these usually include pumping to surface water drainage and therefore have the potential to affect flood risk.

It is therefore considered that the application does not meet the following planning requirements:

- Paragraph 167 of the National Planning Policy Framework requires the LPA, when determining any planning applications, to ensure that flood risk is not increased elsewhere. The development proposal carries with it the risk of increased flood risk to the downslope properties in an area already at high risk of surface water flooding, and the application is therefore not compliant with the NPPF
- Paragraph 14.45 of the Local Plan SPD 'Residential design guidance' requires that neighbouring groundwater conditions will not be adversely affected by basement development. No information has been provided concerning groundwater conditions or how the development will affect them
- Section 6.8.12 of the Draft Local Plan, 2020, requires that there will be no significant adverse impact caused to the amenity of neighbouring properties. Until it can be demonstrated that flooding and drainage risks can be adequately mitigated, the proposals are not compliant with these requirements
- The application is not compliant with the London Plan water hierarchy for runoff, or with Section 5.9 of LB Barnet's Development Plan Document which requires sustainable drainage, as no drainage strategy is provided with the proposal.

Due to the sensitivity of the setting, in a Critical Drainage Area, and upslope from properties at high risk of surface water flooding, it is considered that the planning application should not be approved until the risks associated with surface water flooding and drainage, and groundwater management, have been properly assessed. The required assessments include:

- A flood risk assessment (FRA) to include risks to surrounding properties
- A drainage strategy to demonstrate compliance with the London Plan water hierarchy
- A basement impact assessment (BIA) to include impacts to surface water and groundwater

1. INTRODUCTION

Gordon Kuper, of 42 Corringham Road, within the London Borough of Barnet (LB Barnet), has instructed H Fraser Consulting Ltd (HFCL) to assess groundwater and surface water issues in relation to planning application 21/6722/HSE at neighbouring 40 Corringham Road. The application is for formation of a basement level with associated front lightwell and is currently pending a decision.

1.1 Objective

The purpose of this assessment is to identify, with respect to groundwater and surface water, whether there are issues that may increase flood risk, cause nuisance, damage or loss of amenity to neighbours, and for which further information should be provided by the applicant prior to a planning decision being made.

1.2 Scope of works

The agreed scope of work is as follows:

- Desk study to review local geology, hydrogeology, hydrology, flood risk, topography
- Review of planning application documents and Barnet basement planning policy
- Reporting

1.3 Authorship

This report has been authored by Emilie Roberts and Hannah Fraser of H Fraser Consulting Ltd. Emilie is a hydrogeologist (MSc, FGS) with 11 years of experience. Hannah is a Chartered Geologist (MSc, CGeol) with 26 years' experience as a hydrogeologist and environmental consultant, and founder and Director of H Fraser Consulting Ltd. Hannah and Emilie have both undertaken numerous Basement Impact Assessments in many London Boroughs, and have specialist knowledge of a wide range of technical and planning policy matters relating to basements and their interactions with the water environment.

2. DESK STUDY

2.1 Sources of information

The following data have been referenced:

- Existing and proposed plans (Appendix A);
- Groundsure Enviro-Insight ref. GS-8778273 (Appendix B);
- Groundsure historic maps ref. GS-8778272 (Appendix C);
- Geological mapping: British Geological Survey 1:50,000 series, England and Wales Sheet 256. North London. Bedrock and Superficial Deposits Geology;
- Flood risk mapping. <https://flood-warning-information.service.gov.uk/long-term-flood-risk/>;
- Barnet Council Local Plan Core Strategy and Development Policy documents (<https://www.barnet.gov.uk/planning-and-building/planning-policies-and-local-plan/local-plan>)

2.2 Site description

40 Corringham Road is located on the southwestern side of Corringham Road and adjoins No.42 (the other half of the semi-detached property) to the southeast and No.38 to the northwest. The rear garden backs onto 29 Middleton Road, to the southwest. The site location is presented in Figure 2-1.

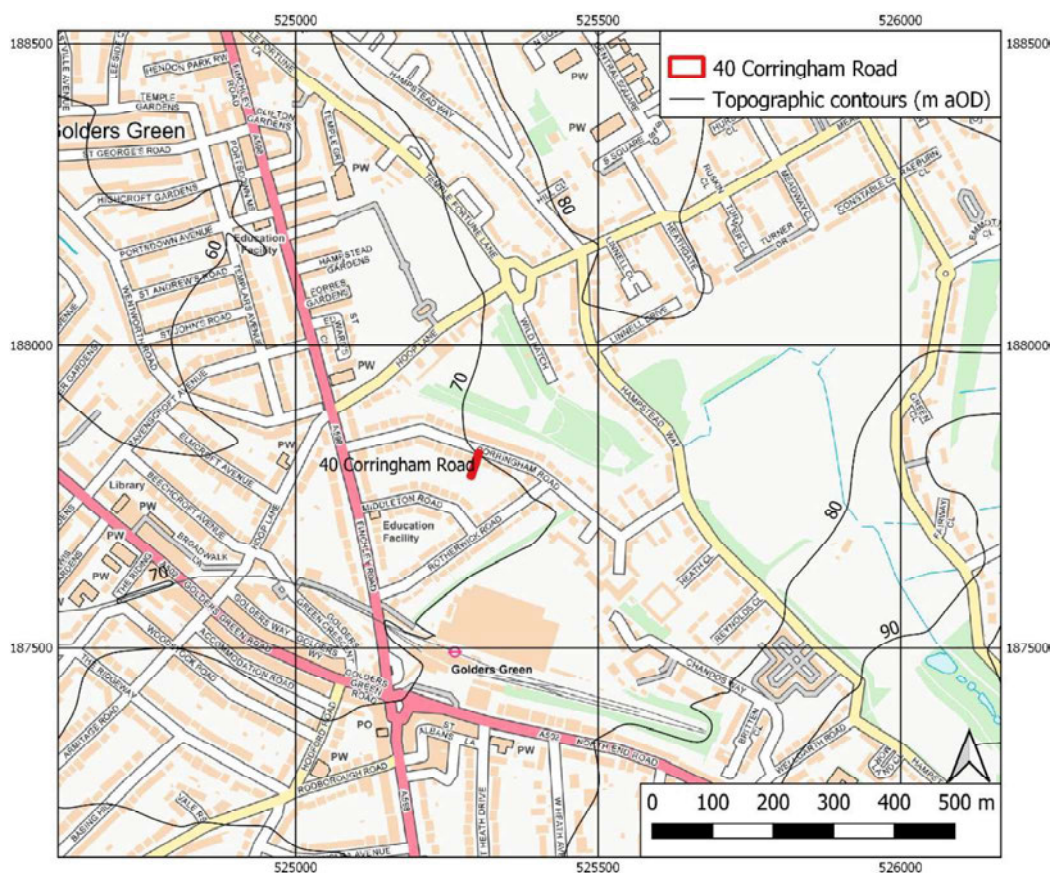


Figure 2-1 Map of site location

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2.3 Existing and proposed development

40 Corringham Road, Golders Green, London, NW11 7BU is a two-storey semi-detached property with roof conversion and an external semi-basement storeroom adjoined to the rear. The site is rectangular shaped, with a front parking area and rear garden. Existing drainage appears to be via a soakaway located at the bottom of the garden, as shown in Figure 2-2.

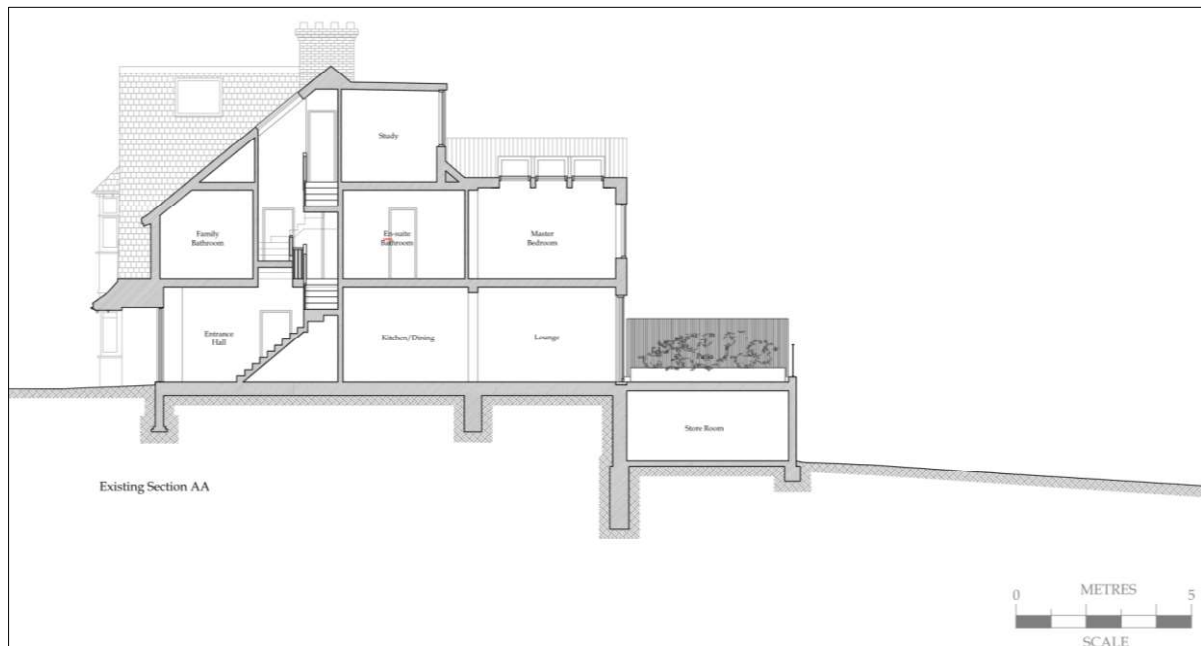
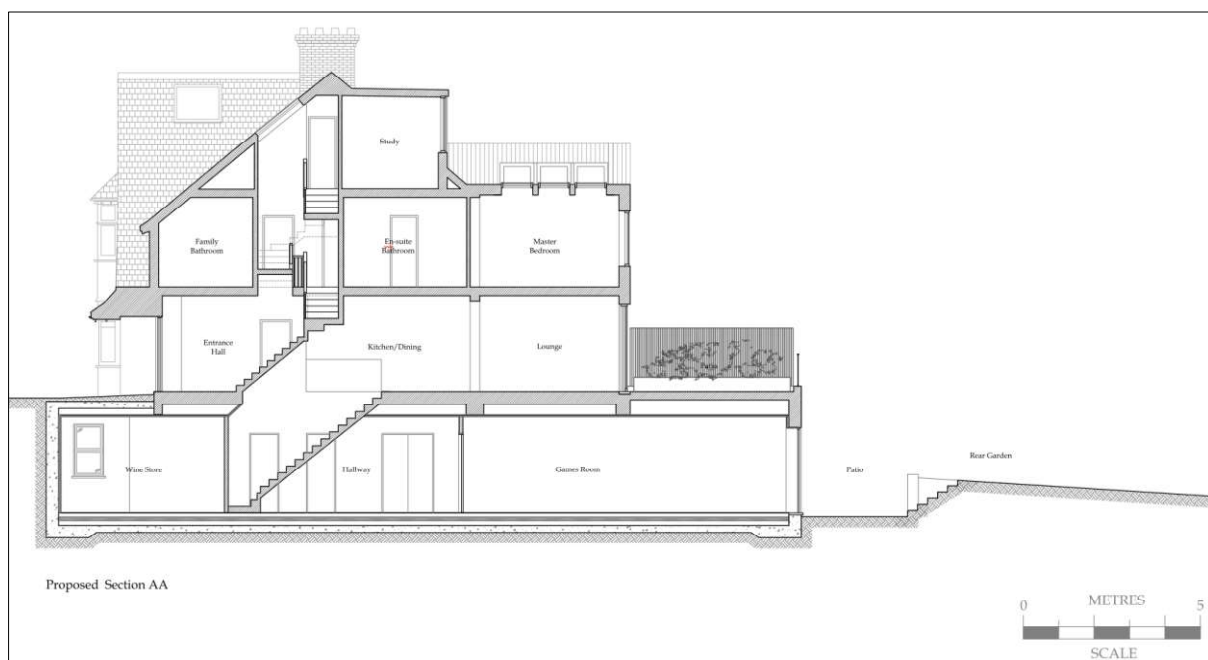


Figure 2-2 Photographs of soakaway installation

2.4 Existing and proposed development

The proposed development involves excavation of a new basement floor level under the entirety of existing building and extending under the rear patio area. A light-well is planned to the front elevation. A new patio is proposed. The proposed drainage strategy for surface water drainage and foul water has not been provided by the Applicant.

Plan sections of the existing and proposed development are shown in Figure 2-3.

Existing:**Proposed:****Figure 2-3 Plan sections of existing and proposed development**

2.5 Background information

Table 2-1 Background information

Site location	The National Grid Reference for 40 Corringham Road is 525294 187805
Site History	The 1896 1:2500 map ¹ shows the site to be located in a field, with a stream c. 30 m to the south. The stream appears to rise c. 120m southeast of the site and flows towards the west-northwest. By 1915 the houses along Corringham Road and Middleton Road have been built. The stream is not shown in any later maps.
Nearby basements	LB Barnet's planning portal indicates that there are two properties with basements within 20 m of 40 Corringham Road, at No.42 and No. 46 Corringham Road. The owner of No. 42 describes these as lower ground floor rooms; at No 42 the development comprised the conversion of an existing sub-terrace storage room with provision of an external staircase. At No. 46 the development is described as addition of a terrace with sub-terrace room and internal staircase. Neither development involved excavation below the existing building footprint.
Geology	The British Geology Survey (BGS) 1:50,000 map of North London ² indicates that the site and immediate vicinity are underlain by the London Clay Formation. No superficial deposits are shown to be present beneath the site. The London Clay mainly comprises bioturbated or poorly laminated, blue-grey or grey-brown, slightly calcareous, silty to very silty clay, clayey silt and sometimes silt, with some layers of sandy clay. ³
Topography	The site elevation is between 65 and 70 m above Ordnance Datum (aOD) ⁴ , and slopes down to the southwest, such that the rear garden slopes downhill. The houses along the north side of Middleton Road (including no.29) appear to be at the bottom of a minor valley, whose floor is at an elevation of c.65 m aOD and which drains down to the west.
Aquifer status	The site is not underlain by a superficial aquifer according to the Environment Agency designations. ⁵ Regarding bedrock aquifers, the London Clay is classified by the Environment Agency as unproductive. ^{6,7}
Watercourses	The nearest water feature is a small unnamed watercourse located 78 m north, and downhill, of the site. ⁸ The watercourse flows westwards away from

¹ Groundsure historic maps GS-8778272

² British Geological Survey 1:50,000 series, England and Wales Sheet 256. North London. Bedrock and Superficial Deposits Geology

³ <https://www.bgs.ac.uk/lexicon/lexicon.cfm?pub=LC>

⁴ 1:25,000 OS mapping

⁵ Groundsure report GS-8778273

⁶ Groundsure report GS-8778273

⁷ Rock layers or drift deposits with low permeability that have negligible significance for water supply or river base flow

⁸ 1:25,000 OS mapping

	Hampstead Heath extension. There are no other mapped water features within 500 m of the site.
	There are no surface water abstractions within 2 km. ⁹
Springs	There are no springs shown on OS mapping within 500 m of the site. ¹⁰
Wells	There are no groundwater abstractions or source protection zones (SPZs) within 1 km of the site. ¹¹
Surface water flooding	The site is in Flood Zone 1 (FZ1) ¹² and at very low risk of flooding from rivers and the sea, ¹³ and from surface water flooding. ¹⁴ However it is noted that immediately downhill of the site, the rear gardens of properties along the northern side of Middleton Road are at high risk of surface water flooding (Figure 2-4). ¹⁵ Barnet's Surface Water Management Plan ¹⁶ shows that the site and local area lie within the Golders Green Critical Drainage Area (CDA) Group2_018 (Figure 2-5). More specifically, Figure 2-5 indicates that Middleton Road lies within a local flood risk zone.
Groundwater flooding	The site (and 250 m buffer) is mapped as having a negligible risk of groundwater flooding. ¹⁷

⁹ Groundsure report GS-8778273

¹⁰ 1:25,000 OS mapping

¹¹ Groundsure report GS-8778273

¹² <https://flood-map-for-planning.service.gov.uk/>

¹³ <https://check-long-term-flood-risk.service.gov.uk/risk>

¹⁴ <https://check-long-term-flood-risk.service.gov.uk/risk>. Each year this area (including a 20m radius of this property) has a chance of flooding of less than 0.1%

¹⁵ <https://check-long-term-flood-risk.service.gov.uk/risk> Each year this area (including a 20m radius of this property) has a chance of flooding of greater than 3.3%

¹⁶ Barnet Surface Water Management Plan Volume 2, Figure E1-18

¹⁷ Groundsure report GS-8778273



Figure 2-4 Map of surface water flood risk

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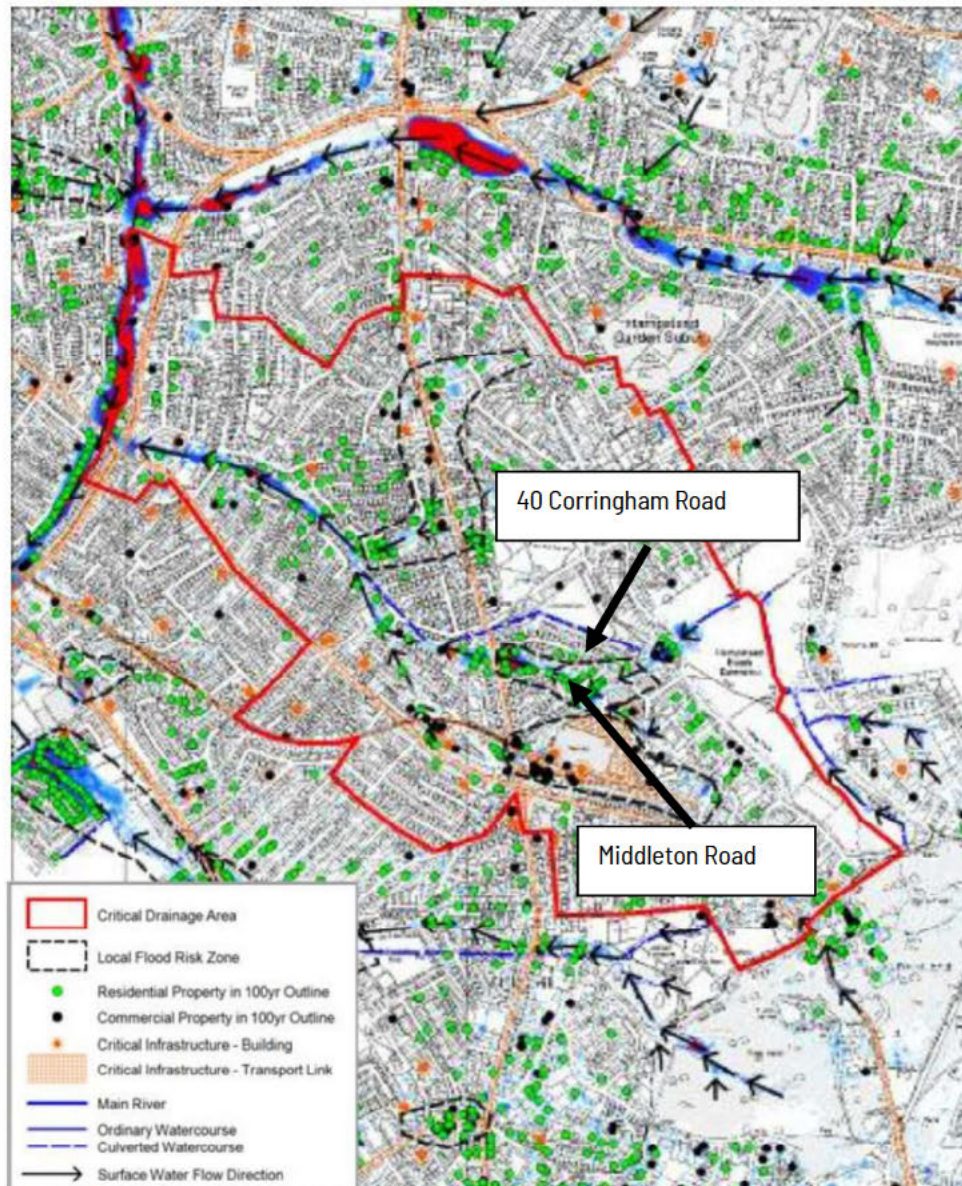


Figure 2-5 Map of Golders Green Critical Drainage Area (CDA)

Adapted from LB Barnet's Surface Water Management Plan Volume 2 (Appendices), Figure E1-18

2.6 Local flooding issues

Middleton Road, which lies immediately downhill from 40 Corringham Road is in an area of high surface water flood risk. Jeremy Charles of 29 Middleton Road reported¹⁸ that his house suffered internal flooding following a storm in July 2021 which resulted in a £20,000 insurance claim. He noted that neighbours in 13, 23, 27 and 31 Middleton Road have all complained about rising water in their basement areas. However, Mr Charles has also observed an increase in runoff in his garden in the last 4-5 years, which manifests by coming through the concrete steps from the lower patio to the top garden. The steps now have missing concrete in the joints. He attributes this partly to the poorly functioning soakaway at 40 Corringham Road. The soakaway is thought to exacerbate the surface water flood risk in Middleton Road.

¹⁸ Email to Gordon Kuper 26 May 2022

3. REVIEW OF PLANNING APPLICATION AND REQUIREMENTS

Relevant planning requirements are summarised below:

3.1 Regional and national planning policies

- National Planning Policy Framework (NPPF), 2021. Planning and flood risk,
 - Paragraph 161: All plans should apply a sequential, risk-based approach to the location of development – taking into account all sources of flood risk and the current and future impacts of climate change – so as to avoid, where possible, flood risk to people and property. They should do this, and manage any residual risk, by:
 - a) applying the sequential test and then, if necessary, the exception test as set out below;
 - b) safeguarding land from development that is required, or likely to be required, for current or future flood management;
 - c) using opportunities provided by new development and improvements in green and other infrastructure to **reduce the causes and impacts of flooding**, (making as much use as possible of natural flood management techniques as part of an integrated approach to flood risk management); and
 - d) where climate change is expected to increase flood risk so that some existing development may not be sustainable in the long-term, seeking opportunities to relocate development, including housing, to more sustainable locations.
 - Paragraph 167: When determining any planning applications, **local planning authorities should ensure that flood risk is not increased elsewhere**. Where appropriate, **applications should be supported by a site-specific flood-risk assessment⁵⁵**. Development should only be allowed in areas at risk of flooding where, in the light of this assessment (and the sequential and exception tests, as applicable) it can be demonstrated that:
 - within the site, the most vulnerable development is located in areas of lowest flood risk, unless there are overriding reasons to prefer a different location;
 - the development is appropriately flood resistant and resilient such that, in the event of a flood, it could be quickly brought back into use without significant refurbishment;
 - **it incorporates sustainable drainage systems, unless there is clear evidence that this would be inappropriate;**
 - **any residual risk can be safely managed;** and
 - safe access and escape routes are included where appropriate, as part of an agreed emergency plan.
 - Paragraph 168: Applications for some minor development and changes of use⁵⁶ should not be subject to the sequential or exception tests but **should still meet the requirements for site-specific flood risk assessments set out in footnote 55**.
 - Footnote 55: A **site-specific flood risk assessment** should be provided for all development in Flood Zones 2 and 3. **In Flood Zone 1, an assessment should accompany all proposals involving:** sites of 1 hectare or more; land which has been identified by the Environment Agency as having critical drainage problems;

land identified in a strategic flood risk assessment as being at increased flood risk in future; or land that may be subject to other sources of flooding, where its development would introduce a more vulnerable use.

- Footnote 56: This includes householder development, small non-residential extensions (with a footprint of less than 250m²) and changes of use; except for changes of use to a caravan, camping or chalet site, or to a mobile home or park home site, where the sequential and exception tests should be applied as appropriate.
- London Plan, 2016. Policy 5.13 on sustainable drainage states that a **development should utilise sustainable urban drainage systems (SUDS) unless there are practical reasons for not doing so**, and should aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible in line with the following drainage hierarchy:
 - 1 store rainwater for later use
 - 2 use **infiltration techniques**, such as porous surfaces **in non-clay areas**
 - 3 attenuate rainwater in ponds or open water features for gradual release
 - 4 attenuate rainwater by storing in tanks or sealed water features for gradual release
 - 5 discharge rainwater direct to a watercourse
 - 6 discharge rainwater to a surface water sewer/drain
 - 7 discharge rainwater to the combined sewer.

3.2 Barnet's Local Plan

3.2.1 (Development Management Policies) Development Plan Document September 2012

- Section 5.9 'Surface water run off and drainage' requires that **Sustainable Urban Drainage techniques such as porous paving should be used where possible to reduce flood risk and the Mayor's drainage hierarchy applied**. The principle of the Mayors drainage hierarchy is for a greenfield rate of run off to be maintained. A greenfield run-off rate is one that reflects the natural rate of water runoff from a site before development. The Surface Water Management Plan (SWMP) for Barnet, Brent and Harrow is designed to fulfil the requirements of the Flood Risk regulations 2009 and to identify areas more at risk from surface water flooding. **Proposals which create impact in these areas identified at risk will need to demonstrate through hydrological investigations and modelling how they will reduce that risk. Where they require permission, front garden alterations for parking or basement developments are examples which can impact local run off.**
- Policy DM04: Environmental Considerations'. Part 'g' of the policy is linked to flood risk, and states that Development should demonstrate compliance with the London Plan water hierarchy for run off especially in areas identified as prone to flooding from surface water runoff.
- Note that Surface water management plan (SWMP) Volume 1 Section 3.5.6 Infiltration SuDS suitability states that a majority of the borough falls within the potentially unsuitable category due to the impermeable nature of the London Clay.

3.3 LB Barnet basement planning policies

- Local Plan SPD Residential design guidance (October 2016): Paragraph 14.45 states that the following points should be considered for basement extensions:
 - **Neighbouring ground water conditions should not be adversely affected**
- Draft Local Plan, Chapter 6: Character, Design and Heritage (Jan 2020)
 - Policy CDH06 (Basements) states that proposals for basements should follow good design principles in accordance with the Residential Design Guidance and Sustainable Design and Construction SPDs. Basement proposals to properties should: **c) Have no demonstrable adverse impact on neighbouring ground water conditions.**
 - Section 6.18.1. Basement development, or extensions that go beyond permitted development rights, and which involve excavation of land, helps create additional space for homes. However, the **excavation involved in basement development can have implications for ground water conditions leading to ground instability and/or increased flood risk.**
 - 6.18.2 Policy CDH06 refers to basement development that also includes lightwells or basement light shafts, and other underground development at or below ground level. When it refers to garden space this includes unbuilt, private open space on the property which includes grassed and landscaped areas, paving and driveways. Policies relating to design, heritage, flood risk and open space are also relevant to basement development and will be taken into account when considering such schemes. Policy CDH06 highlights the importance of taking account of context and local character in the design of basement development. **Basements should not impact on the character of the surrounding area or cause harm to the established garden, open area, nearby trees. There should be no significant adverse impact caused to the amenity of neighbouring properties.**

3.4 British Standards and NHBC requirements

There are well documented best-practice methods for waterproofing basement structures, to prevent ingress of groundwater to the built structure, and to counter the effects of soil moisture, as outlined in BS 8102:2009 'Code of practice for protection of below ground structures against water from the ground.' BS 8102 gives guidance on the construction of new basements, introducing three performance grades, as shown in Table 3-1. BS 8102 also specifies three types of waterproof protection, Types A, B and C; shown in Table 3-2.

Table 3-1 Level of performance of waterproofing system

Grade	Required level of performance
1	Some seepage and dampness is permitted
2	No water penetration, but dampness is permitted
3	No water penetration or dampness is permitted

Table 3-2 Types of waterproof protection

Type	Waterproof protection
A	Internal or external tanking
B	Structurally integral protection
C	Internal drained cavity protection with a sump and pump for removal of water or its disposal by gravity

The National House Building Council (NHBC) requires basements which are to be used for habitable accommodation to be constructed to Grade 3, and those used for parking cars to be constructed to Grade 2.¹⁹

NHBC also require that ground investigations should be undertaken to identify the most appropriate waterproofing options, in conjunction with the construction materials to be used²⁰. In the absence of adequate ground investigations to establish the ground water regime and drainage characteristics, BS 8102 (Clause 6.1) requires that '*Waterproofing measures should be designed on the basis of water to the full height of the retained ground at some time during the structure's life*'.

¹⁹ NHBC Standards 2017

²⁰ NHBC Standards 2017

4. DISCUSSION

The Applicant has not provided sufficient information with the application concerning proposed surface water or foul drainage, or waterproofing. Specifically:

- The increase in surface water run-off volumes and flows due to increased hardstanding has not been quantified. The associated increased risk in flooding to neighbouring properties in an area at high risk of surface water flooding has not been assessed
- The proposals for foul drainage have not been specified. It is not known whether foul sewage will be pumped from the basement level, and if so whether arrangements will be made to prevent sewer flooding in the event of the sewers being surcharged
- Proposals for surface water drainage and the application of SuDS to maintain pre-development run-off rates have not been submitted with the application. It is noted that infiltration SuDS are highly unlikely to be effective at this location due to low permeability ground conditions (the site is underlain by London Clay).
- Methods by which the basement will be protected from soil moisture and groundwater ingress have not been specified. Standard construction methods for habitable basement accommodation include cavity wall drainage with sump pumping to the surface water drainage system. Lightwells are also frequently pumped to surface water drainage. There is no information on the proposed arrangements or the potential impact on surface water run-off and flooding

It is understood that the current surface water drainage is via a soakaway. The soakaway is located at the bottom of the garden, on London Clay, on a slope, therefore the infiltration rate is likely to be low. This is corroborated by the increased run-off observed in the garden of 29 Middleton Road, immediately downhill of the soakaway. It is likely that the existing soakaway is not fit for purpose.

The drainage arrangements for the proposed development are unknown. If the existing soakaway is used, it is likely that the proposed development will increase rainfall run-off and worsen flooding downhill. It is considered that a flood risk assessment (FRA) to consider impacts of the proposals on the neighbouring properties in areas at high risk of surface water flooding is required.

A drainage strategy should be provided to give information on the proposed SuDS and surface water runoff discharge destination, in line with Policy 5.13 of the London Plan. It should include supporting calculations on the greenfield and proposed development's peak discharge rates and water storage volumes for different rainfall events. The Non-statutory technical standards for sustainable drainage systems should be adopted. A high level of evidence must be provided to justify the use of non-infiltration based surface water management techniques. In this setting, it is considered that site specific infiltration testing or borehole records should be provided to demonstrate either that infiltration capacity is adequate, or that alternative methods are justified due to the low permeability of the London Clay.

A basement impact assessment should be provided that examines the likely impact of the development on surface water and groundwater, and identifies appropriate mitigation measures. Strategies for managing groundwater ingress and soil moisture, sewage pumping and sump pumping should be identified. The impact assessment should be informed by the drainage strategy and FRA.

5. CONCLUSION

It is considered that the development proposal does not meet the following planning policy requirements:

- Paragraph 167 of the NPPF requires the LPA, when determining any planning applications, to ensure that flood risk is not increased elsewhere. The development proposal carries with it the risk of increased flood risk to the downslope properties in an area already at high risk of surface water flooding, and the application is therefore not compliant with the NPPF
- Local Plan SPD Residential design guidance (October 2016): Paragraph 14.45 requires that neighbouring groundwater conditions will not be adversely affected. No information has been provided concerning groundwater conditions or how the development will affect them
- Draft Local Plan, 2020, Section 6.8.12 requires that there will be no significant adverse impact caused to the amenity of neighbouring properties. Until it can be demonstrated that flooding and drainage risks can be adequately mitigated, the proposals are not compliant with these requirements
- The application is not compliant with the London Plan water hierarchy for runoff, especially in areas identified as prone to flooding from surface water runoff. It is therefore also not compliant with LBBs Development Plan Document Section 5.9 requiring SuDS. No proposals for drainage or SuDS have been submitted with the application. It is noted that the site is within the Golders Green Critical Drainage Area, and upslope of properties that are at high risk of surface water flooding.

Due to the sensitivity of the setting, in a Critical Drainage Area, and upslope from properties at high risk of surface water flooding, it is considered that the planning application should not be approved until the risks associated with surface water flooding and drainage, and groundwater management, have been properly assessed. The required assessments include:

- flood risk assessment (FRA) to include risks to surrounding properties
- drainage strategy
- basement impact assessment (BIA)

6. REFERENCES

London Borough of Barnet. Barnet's Local Plan (Development Management Policies), Development Plan Document, Adoption Version, September 2012

London Borough of Barnet. Local Plan Supplementary Planning Document: Residential Design Guidance, October 2016.

London Borough of Barnet. Draft Local Plan Chapter 6: Character, Design and Heritage, January 2020.

London Borough of Barnet. Surface Water Management Plan Volume 1, October 2011.

London Borough of Barnet. Surface Water Management Plan Volume 2 - Appendices, October 2011.

Mayor of London. The London Plan. March 2016.

Ministry of Housing, Communities & Local Government. National Planning Policy Framework, 2021.

From: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Sent: 08 June 2022 16:01
To: [REDACTED] <[REDACTED]@cranbrook.co.uk>
Cc: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Quille, Eva <Eva.Quille@Barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>
Subject: FW: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Dear [REDACTED]

Further to your email, I apologise for the late notice in respect of the withdrawal of the item from the agenda tonight.

As per the email from [REDACTED], following the publication of the Committee Report, the LPA have received a number of challenges to the appraisal – most significantly in respect of the impact from and on flood water management – including latterly a report received late last night

The LPA have not had time to properly consider these and it was determined that in the likely event that questions were raised to or by Members, officers would not be in a position to give a qualified response and the matter would then in any event be deferred.

The case officer and relevant decision-manager will contact you shortly regarding the detail of these challenges and taking the matter forward.

I apologise again for the delay in determining this application

Regards,

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

PLEASE NOTE: MY WORKING DAYS ARE TUESDAY-FRIDAY

From: Quille, Eva
Sent: 08 June 2022 17:15
To: [REDACTED]@cranbrook.co.uk>
Subject: RE: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Dear [REDACTED]

My colleague was presenting the case this evening and has been dealing with the case. I have forwarded your email to him and I believe he has responded to your queries.

I apologise again for the on-going delays that you have experienced.

Kind Regards

Eva Quille
Deputy Planning Manager

Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
www.re-ltd.co.uk

Please note I work part time. My usual hours of working are Tuesday and Wednesday all day and Thursday morning.

Please note that the comments are provisional and represent an informal view by an officer; the views contained within this email do not constitute an official determination, are not legally binding and do not bind the council to a particular course of action.



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From: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>
Sent: 08 June 2022 14:51
To: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>
Subject: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

**** Warning External Email ****

Good afternoon Eva

We write regarding the email below from your colleague [REDACTED]

This is obviously extremely disappointing given that we have already waited 6 months for a decision

Please can you confirm why our application has been withdrawn from tonight's committee?

Also, please can you provide full details of the circumstances that have lead to the withdrawal from committee and any correspondence + documents which relate to this

We would appreciate it if you could provide this information today, so we can offer a full explanation to our client, wo will be very disappointed by this news

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]

732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: Planning Committees <Planning.Committees@Barnet.gov.uk>

Sent: 08 June 2022 13:40

Subject: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Hello,

I am writing to inform you that following agreement with the Chair and Planning Officers, the application (40 Corringham Road NW11 7BU - 21/6722/HSE) which was listed for Planning Committee A on 8 June 2022 is withdrawn for the reason set out below:

In view of a challenge to the content of the Committee Report being brought to the attention of Managers following publication, the item has been withdrawn to enable further consideration of the impact both on and from the development in respect of flood management

Kind regards,

Senior Governance Officer – Governance Service, Assurance Group

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW

Tel: [REDACTED] | Mobile: [REDACTED] | Web: barnet.gov.uk

Barnet Online: www.barnet.gov.uk

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From: Quille, Eva
Sent: 08 June 2022 15:06
To: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Subject: FW: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Hi Mark

Are you able to respond the agent regarding why the application was withdrawn from the agenda please.

Kind Regards

Eva Quille
Deputy Planning Manager
Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380

Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
www.re-ltd.co.uk

Please note I work part time. My usual hours of working are Tuesday and Wednesday all day and Thursday morning.

Please note that the comments are provisional and represent an informal view by an officer; the views contained within this email do not constitute an official determination, are not legally binding and do not bind the council to a particular course of action.



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From: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>
Sent: 08 June 2022 14:51
To: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>
Subject: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

**** Warning External Email ****

Good afternoon Eva

We write regarding the email below from your colleague [REDACTED]

This is obviously extremely disappointing given that we have already waited 6 months for a decision

Please can you confirm why our application has been withdrawn from tonight's committee?

Also, please can you provide full details of the circumstances that have lead to the withdrawal from committee and any correspondence + documents which relate to this

We would appreciate it if you could provide this information today, so we can offer a full explanation to our client, wo will be very disappointed by this news

Kind regards

[REDACTED]

Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]

732 Cranbrook Road
Ilford



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From: Planning.Committees <Planning.Committees@Barnet.gov.uk>

Sent: 08 June 2022 13:40

Subject: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Hello,

I am writing to inform you that following agreement with the Chair and Planning Officers, the application (40 Corringham Road NW11 7BU - 21/6722/HSE) which was listed for Planning Committee A on 8 June 2022 is withdrawn for the reason set out below:

In view of a challenge to the content of the Committee Report being brought to the attention of Managers following publication, the item has been withdrawn to enable further consideration of the impact both on and from the development in respect of flood management

Kind regards,


Senior Governance Officer – Governance Service, Assurance Group

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW

Tel:  | Mobile:  | Web: barnet.gov.uk

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Carter, Richard

From: Springthorpe, Mark
Sent: 08 June 2022 09:11
To: Feldman, Lesley; Euzger, Heidi; Bell, Emily; [REDACTED]
Cc: Planning.Committees
Subject: FW: Barnet Planning - 21/6722/HSE - Assistance Requested
Attachments: Council objections 216722HSE 07062022.pdf; 30668R1.1 40 Corringham Road basement review Excl Appendix.pdf

Importance: High

FYI

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

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From: Gordon Kuper [REDACTED]
Sent: 07 June 2022 22:52
To: Gaudin, Fabien <fabien.gaudin@barnet.gov.uk>; Bates, Andy <Andy.Bates@Barnet.gov.uk>; Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Cc: Mary Crowley <marypcrowley@outlook.com>; andrewbush@ [REDACTED] steph_berdar [REDACTED]; Ros Charles [REDACTED]; David Carman [REDACTED]; Young, Cllr Nigel <Cllr.N.Young@Barnet.gov.uk>; Innocenti, Cllr Giulia <Cllr.G.Innocenti@Barnet.gov.uk>; Perlberg, Cllr Matthew <Cllr.M.Pperlberg@Barnet.gov.uk>; McDonald, Stephen <Stephen.McDonald@Barnet.gov.uk>; Shaw, Cath <Cath.Shaw@Barnet.gov.uk>; [REDACTED]@gmail.com
Subject: Barnet Planning - 21/6722/HSE - Assistance Requested
Importance: High

**** Warning External Email ****

Dear Mr Gaudin, Mr Bates & Mr Springthorpe.

Carter, Richard

From: Mary Crowley [REDACTED]
Sent: 06 June 2022 14:42
To: Planning.Committees; Bell, Emily
Cc: Narenthira, Cllr Nagus; Gordon Kuper; Roberts, Cllr Tim; andrewbush [REDACTED] 'David Carman'; Perlberg, Cllr Matthew
Subject: Planning Committee date for Application 21/6722/HSE

**** Warning External Email ****

Dear Barnet Planning Committee,

As you are aware this application has been a touch point for our neighborhood, drawing 23 objections based on a variety of factors from endangering protected trees, invasion of neighbour's privacy, threats to flooding of surrounding properties and construction out of character with the community

In addition, despite multiple requests from those who object that the hearing be held any day EXCEPT June 8, that was the date scheduled with the knowledge that several of those who had volunteered to speak in opposition would be unavailable.

While the revised plans submitted correct the omissions from the original building drawings, the 'tree protection plan' only covers the period of construction and does not address the longer term and very real threats to both the tree and surrounding properties due to potential flooding (which has occurred before). In fact, no hydrology report seems to have been undertaken at all, despite the floods which plagued the street only last summer without such extensive construction.

I am writing now to ask that discussion on this application be postponed until all those who volunteered to speak in opposition can be present and a thorough and transparent discussion can be had.

With no action taken since February, I trust that a delay of a few weeks will be possible.

Best regards,

Mary Crowley

Carter, Richard

From: Gordon Kuper [REDACTED]
Sent: 07 June 2022 22:52
To: Gaudin, Fabien; Bates, Andy; Springthorpe, Mark
Cc: Mary Crowley; [REDACTED]; [REDACTED]; Ros Charles; David Carman; Young, Cllr Nigel; Innocenti, Cllr Giulia; Perlberg, Cllr Matthew; McDonald, Stephen; Shaw, Cath; Jeremy Charles
Subject: Barnet Planning - 21/6722/HSE - Assistance Requested
Attachments: Council objections 216722HSE 07062022.pdf; 30668R1.1 40 Corringham Road basement review Excl Appendix.pdf

Importance: High

Follow Up Flag: Follow up
Flag Status: Completed

**** Warning External Email ****

Dear Mr Gaudin, Mr Bates & Mr Springthorpe.

I am writing to you *(on behalf of the 23 Objectors to 21/6722/HSE)* for your assistance and attention.

We are writing to highlight blatant inaccuracies in the report compiled by the planning committee staff and signed by Emily Bell.

As you may not know the planning officer's recommendation is approving the proposed basement at 40 Corringham Road, NW11 7BU with reference: 21/6722/HSE.

Some of the errors are so egregious that it indicates at best that they can be credited to oversight or worse inadequate investigation by the planning team.

This false information is used thereafter to rely upon to draw the wrong conclusion.

Additionally, **we have commissioned a Hydrogeology report from one of London's leading Hydrogeology experts with 26 years' experience** as a hydrogeologist and environmental consultant, and Basement Impact Assessments in many London Boroughs, and has specialist knowledge of a wide range of technical and planning policy matters relating to basements and their interactions with the water environment.

1. Extension into Garden: Loss of Privacy & Light

- The report ignores that the new patio will be **a further 4 metres from the current** (already extended) patio. Their first patio approval was already achieved in 2013 under false claims detailing how far extended were neighbouring patios.

The Report states the extensions "...should not reduce light to neighbouring windows to habitable rooms or cause significant overshadowing, and should not look out of place, overbearing or intrusive when viewed from surrounding areas

This basement extension and then further patio extension is not acceptable as it has a material impact on the privacy, light for the neighbours as well as the character and appearance of the building. Effective privacy screens would need to extend multiple metres from the back of the house plus multiple metres above ground level to have any effect on privacy for 38 or 42 Corringham Road.

In such a case they will damage light direct and indirect in both living room and kitchen of our respective

houses. No consideration has been given to such concerns. No privacy screens were initially submitted and hence were not commented upon by the objections. These privacy screens would be unique in the only screens in the street and hence totally out of character according to DM01 and DM02 of the Development Management Policies DPD, and Residential Design Guide SPD.

2. Potential to increase Flood risk.

- This point was raised by 22 Objections and sadly all the planning office did was a simple postal code check, which stated that the driveway of the house is in flood risk zone 1.

They never checked why **everyone** who lives in the adjoining streets and houses raised this point. A simple post code check would have illustrated that the neighbouring houses (basement garden side of the house) in Middleton Road are **ALL HIGH flood risk zone**.

Additionally, the topography of the area has all the water flooding downhill from Corringham road into Middleton Road. Corringham road had already flooded last year (even though it was a flood risk zone 1).



40 Corringham Road has already created an illegal water soakaway further causing flooding risk to Middleton neighbours (See images in Hydrology Report)

The neighbourhood objectors have commissioned a hydrology report (see attached) which concludes that "Due to the sensitivity of the setting, in a Critical Drainage Area, and upslope from properties at high risk of surface water flooding, **it is considered that the planning application should not be approved** until the risks associated with surface water flooding and drainage, and groundwater management, have been properly assessed".

3. Comparable Existing Basements in the area.

- None have been built nor would have involved major excavation.
The report states that 42 (adjoining) and 46 have basement extension approvals.

42 Corringham does not have basement extension approval. 42 (which my house) received approval to convert an under patio storage area into a connected room. This would have involved **zero** excavation and support as it was separate / adjoining the house. Even if one counted this as a basement, the size was 35 SQM of outdoor space rather than the 150SQM under the main structure of the house.

46 Corringham Road- Basement extension approval is comparable to be under the terrace of 42 Corringham and not 134SQM under the whole house.

4. Scale of Basement

- The report states “Extensions should normally be consistent in regard to the form, **scale** and architectural style of the original building which can be achieved through **respecting the proportions of the existing house and using an appropriate roof form**.”

The original house before the extension in 2013 was ~ 140 m².

The house was then extended to 230m² in 2013.

The Proposed basement is of 134m².

- This is a **60% increase** on the existing house.
- This is a **260% increase** over its original size less than 8 years ago.

So, it's not fathomable that Barnet planning team can consider this consistent with the scale of the original building. This is totally disproportionate development, resulting in an overdevelopment of the site, and out of scale with the host dwellinghouse.

5. Tree Protection Plan

- Details protections for the [120] year old Oak Tree, estimated to predate the houses in the area.

The proposed tree protection plan is a **total falsity**, and a fabrication of an actual Tree Protection Plan, and takes no account of the actual tree nor water, nor clay ground support issues of the tree.

The “plan” was not submitted by a tree expert, but is rather a cut and paste from google of “Tree protection plan” even down to the decimal metres specified:

<http://planning.southkesteven.gov.uk/SKDC/S17-2496/1580660.pdf> Please see page 3 of the link and is relevant for a Tree in: Uffington Road, Stamford, Lincolnshire, NG9 2EX

It is appalling that the planning officer did not investigate this further as it was raised by all the bordering gardens in the area.

6. Lightwell

- The report states that the council is committed to protecting, and where possible enhancing the character of the boroughs residential areas and retaining attractive street scene.
This proposal introduces Lightwells into a street which does not have any. So clearly damages the street scene.

7. Other Incorrect Points

- Parking
 - “No reduction in off-street parking capacity at the site is proposed.”
 - This is totally false 40 Corringham road has already illegally created a double parking bay (by removing white parking paint) and changes the camber of the pavement stones)
- Habitable Rooms:
 - The basement illustrates no habitable areas, not even a shower room. Whereas we can have sworn affidavits from all the neighbours stating that the resident intends to create a habitable area for their parents to eventually move in.
 - Additionally, no plans were submitted for evacuation of water from the WC in the basement or airing of any areas within the basement

Many thanks for your kind attention.

42 Corringham Road, NW11 7BU - Representing the 23 neighbourhood objections.



As you may know the planning officers recommendation is approving the proposed basement at 40 Corringham Road, NW11 7BU with reference: 21/6722/HSE.

We are writing to highlight blatant inaccuracies in the report compiled by the planning committee staff and signed by Emily Bell.

Some of the errors are so egregious that it indicates at best that they can be credited to oversight or worse inadequate investigation by the planning team.

This false information is used thereafter to rely upon to draw the wrong conclusion.

1. Extension into Garden: Loss of Privacy & Light

- The report ignores that the new patio will be **a further 4 metres from the current** (already extended) patio. Their first patio approval was already achieved in 2013 under false claims detailing how far extended were neighbouring patios.

The Report states the extensions "...should not reduce light to neighbouring windows to habitable rooms or cause significant overshadowing, and should not look out of place, overbearing or intrusive when viewed from surrounding areas

This basement extension and then further patio extension is not acceptable as it has a material impact on the privacy, light for the neighbours as well as the character and appearance of the building.

Effective privacy screens would need to extend multiple metres from the back of the house plus multiple metres above ground level to have any effect on privacy for 38 or 42 Corringham Road.

In such a case they will damage light direct and indirect in both living room and kitchen of our respective houses. No consideration has been given to such concerns. No privacy screens were initially submitted and hence were not commented upon by the objections. These privacy screens would be unique in the only screens in the street and hence totally out of character according to DM01 and DM02 of the Development Management Policies DPD, and Residential Design Guide SPD.

2. Potential to increase Flood risk.

- This point was raised by 22 Objections and sadly all the planning office did was a simple postal code check, which stated that the driveway of the house is in flood risk zone 1.

They never checked why **everyone** who lives in the adjoining streets and houses raised this point. A simple post code check would have illustrated that the neighbouring houses (basement garden side of the house) in Middleton Road are **ALL flood risk zone 3**.

Additionally, the topography of the area has all the water flooding downhill from Corringham road into Middleton Road. Corringham road had already flooded last year (even though it was a flood risk zone 1.



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 - Additionally, no plans were submitted for evacuation of water from the WC in the basement or airing of any areas within the basement

Carter, Richard

From: Springthorpe, Mark
Sent: 09 June 2022 18:36
To: Kevin O'Connor; [REDACTED]
Cc: Euzger, Heidi; Quille, Eva; Bell, Emily; Feldman, Lesley
Subject: RE: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022
Attachments: 30668R1.1 40 Corringham Road basement review Excl Appendix.pdf

Dear Kevin

Further to your emails, I am afraid I did not receive any notification of any missed calls or voicemails addressed to me through the system today (though that may be down to the technology). I am sorry if you have been unable to get through to myself or the case officer.

As per my email yesterday, I was only drawn into this matter as one of the planning leads for the meeting last night and I have not otherwise been involved in the case prior to the Agenda being published. The case officer (Emily Bell) and the relevant planning manager (Lesley Feldman) will be in touch to discuss taking the matter forward with you however, Mrs Feldman does not work on Thursday's and as such would not yet have been in a position to respond.

I have attached the report to which my previous email refers – though I would note that in taking the decision to defer the item, that is not to say that the LPA endorse its conclusions, only that it is necessary to take time to consider its content and any other challenges, seek any technical or legal opinion that might be required and ensure that officers are properly appraised ahead of any examination by Members.

I will leave it up to Emily and Lesley to make public anything else which needs so to be made with regard to our standard obligations however, in respect of the remaining correspondence, I will forward your FoI requests on to the FoI co-ordinators for them to register and investigate. They will respond to you in due course.

I apologise again for the delay in determining this matter.

Regards,

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

PLEASE NOTE: MY WORKING DAYS ARE TUESDAY-FRIDAY

Local Plan 2021-2036

Consultation: 28 June to 9 August

visit: www.engage.barnet.gov.uk



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From: Kevin O'Connor <K.OConnor@cranbrook.co.uk>

Sent: 09 June 2022 09:35

To: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>; [REDACTED]@cranbrook.co.uk>

Cc: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Quille, Eva <Eva.Quille@Barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>

Subject: RE: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

**** Warning External Email ****

Good morning Mark

Many thanks for your email

Whilst I am not detailing with this matter personally wish to formally record the extreme stress, anguish, anxiety and worry that our Clients are experiencing as a result of the manner in which this application is progressing

Our Clients together with their young children are hostage to a process in which it is impossible to speak directly with a planning officer and calls are not returned

Emails to the Planning department are generally ignored

I do not wish to see our Clients mental health placed at risk and ask that you personally direct the case officer to engage with us proactively to resolve this planning application

Kind regards

Kevin O'Connor
Managing Director

Cranbrook

Basement design & construction

+44 (0)208 498 8350
[REDACTED]

26-28 Hammersmith Grove
London W6 7BA

www.cranbrook.co.uk



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From: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>

Sent: 08 June 2022 16:01

To: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>

Cc: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Quille, Eva <Eva.Quille@Barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>

Subject: FW: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Dear [REDACTED]

Further to your email, I apologise for the late notice in respect of the withdrawal of the item from the agenda tonight.

As per the email from [REDACTED] following the publication of the Committee Report, the LPA have received a number of challenges to the appraisal – most significantly in respect of the impact from and on flood water management – including latterly a report received late last night

The LPA have not had time to properly consider these and it was determined that in the likely event that questions were raised to or by Members, officers would not be in a position to give a qualified response and the matter would then in any event be deferred.

The case officer and relevant decision-manager will contact you shortly regarding the detail of these challenges and taking the matter forward.

I apologise again for the delay in determining this application

Regards,

Mark

Mark Springthorpe BA(Hons) MA(Dist)

Planning Manager – Planning & Building Control

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW

Tel: 020 8359 4270 | Web: barnet.gov.uk

PLEASE NOTE: MY WORKING DAYS ARE TUESDAY-FRIDAY

Local Plan 2021-2036

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From: [REDACTED]@cranbrook.co.uk>

Sent: 08 June 2022 14:51

To: Quille, Eva <Eva.Quille@Barnet.gov.uk>

Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>

Subject: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

**** Warning External Email ****

Good afternoon Eva

We write regarding the email below from your colleague [REDACTED]

This is obviously extremely disappointing given that we have already waited 6 months for a decision

Please can you confirm why our application has been withdrawn from tonight's committee?

Also, please can you provide full details of the circumstances that have lead to the withdrawal from committee and any correspondence + documents which relate to this

We would appreciate it if you could provide this information today, so we can offer a full explanation to our client, wo will be very disappointed by this news

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]
732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: Planning.Committees <Planning.Committees@Barnet.gov.uk>

Sent: 08 June 2022 13:40

Subject: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Hello,

I am writing to inform you that following agreement with the Chair and Planning Officers, the application (40 Corringham Road NW11 7BU - 21/6722/HSE) which was listed for Planning Committee A on 8 June 2022 is withdrawn for the reason set out below:

In view of a challenge to the content of the Committee Report being brought to the attention of Managers following publication, the item has been withdrawn to enable further consideration of the impact both on and from the development in respect of flood management

Kind regards,



Senior Governance Officer – Governance Service, Assurance Group

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW

Tel: [REDACTED] | Mobile: [REDACTED] | Web: barnet.gov.uk

Barnet Online: www.barnet.gov.uk

Committee Papers: <http://barnet.moderngov.co.uk>



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This message has been scanned by Exchange Online Protection.

Carter, Richard

From: Quille, Eva
Sent: 08 June 2022 15:06
To: Springthorpe, Mark
Subject: FW: 40 Corringham Road NW11 7BU - 21/6722/HSE - Planning Committee A 8 June 2022

Follow Up Flag: Follow up
Flag Status: Completed

Hi Mark

Are you able to respond the agent regarding why the application was withdrawn from the agenda please.

Kind Regards

Eva Quille
Deputy Planning Manager
Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
www.re-ltd.co.uk

Please note I work part time. My usual hours of working are Tuesday and Wednesday all day and Thursday morning.

Please note that the comments are provisional and represent an informal view by an officer; the views contained within this email do not constitute an official determination, are not legally binding and do not bind the council to a particular course of action.



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Carter, Richard

From: [REDACTED]
Sent: 08 June 2022 08:44
Subject: Re: Planning Committee date for Application 21/6722/HSE

**** Warning External Email ****

Dear Planning committee,

Can I add to this on behalf of my mother, Julie Bush, Number 43, age 101 in October. She is opposed to this project, but cannot be expected to attend meetings at short notice. Can I therefore ask for a postponement, and decent notice so she can attend if her health permits.

Thank you,

Professor Andy Bush

On 2022-06-06 14:41, Mary Crowley wrote:

Dear Barnet Planning Committee,

As you are aware this application has been a touch point for our neighborhood, drawing 23 objections based on a variety of factors from endangering protected trees, invasion of neighbour's privacy, threats to flooding of surrounding properties and construction out of character with the community

In addition, despite multiple requests from those who object that the hearing be held any day EXCEPT June 8, that was the date scheduled with the knowledge that several of those who had volunteered to speak in opposition would be unavailable.

While the revised plans submitted correct the omissions from the original building drawings, the 'tree protection plan' only covers the period of construction and does not address the longer term and very real threats to both the tree and surrounding properties due to potential flooding (which has occurred before). In fact, no hydrology report seems to have been undertaken at all, despite the floods which plagued the street only last summer without such extensive construction.

I am writing now to ask that discussion on this application be postponed until all those who volunteered to speak in opposition can be present and a thorough and transparent discussion can be had.

With no action taken since February, I trust that a delay of a few weeks will be possible.

Best regards,

Mary Crowley

Carter, Richard

From: andrewbush [REDACTED]
Sent: 08 June 2022 10:50
To: Springthorpe, Mark
Subject: Re: Barnet Planning - 21/6722/HSE - Assistance Requested

**** Warning External Email ****

Dear Mark,

Thank you so much for confirming the agenda item has been moved

All best,

Pro Andy Bush on behalf of my mother, Julie (no 43)

Carter, Richard

From: andrewbush [REDACTED]
Sent: 08 June 2022 08:44
Subject: Re: Planning Committee date for Application 21/6722/HSE

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Best regards,

Mary Crowley

Carter, Richard

From: Euzger, Heidi
Sent: 07 June 2022 13:56
To: [REDACTED]; Springthorpe, Mark
Subject: RE: Speaking at the Planning Committee A meeting on 8th June

Follow Up Flag: Follow up
Flag Status: Completed

Hi [REDACTED] just sent you a Teams message but yes the officers will be withdrawing this item off the agenda. Mark will draft something later this afternoon and send it to you.

Also I thought we will be having the call over after the virtual briefing which is at 4pm today (will probably finish around 5pm). Do you wish to tag the call over to the virtual briefing? Or will you send out a new invite. Please confirm. Please invite [REDACTED], [REDACTED] and Emily Bell. These officers are attending to present their items at the meeting tomorrow.

Thanks
Heidi

From: [REDACTED]@Barnet.gov.uk>
Sent: 07 June 2022 09:54
To: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Subject: RE: Speaking at the Planning Committee A meeting on 8th June

Hi Heidi, Mark

Can I please clarify with you the situation re 40 Corringham Road. I thought we were going to definitely withdraw the item so we haven't written to the speakers as wasn't sure what to say whether item was going ahead or not. If you could please let me know.

Thanks

[REDACTED]

From: Narenthira, Cllr Nagus <Cllr.N.Narenthira@Barnet.gov.uk>
Sent: 07 June 2022 08:47
To: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; [REDACTED]@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>
Cc: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Subject: RE: Speaking at the Planning Committee A meeting on 8th June

Thank you
There was a request to move 40, Corringham Road to another committee because of jewish holidays. Is this still happening?

From: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>
Sent: 07 June 2022 08:19
To: Narenthira, Cllr Nagus <Cllr.N.Narenthira@Barnet.gov.uk>; [REDACTED]@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>

Cc: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>

Subject: RE: Speaking at the Planning Committee A meeting on 8th June

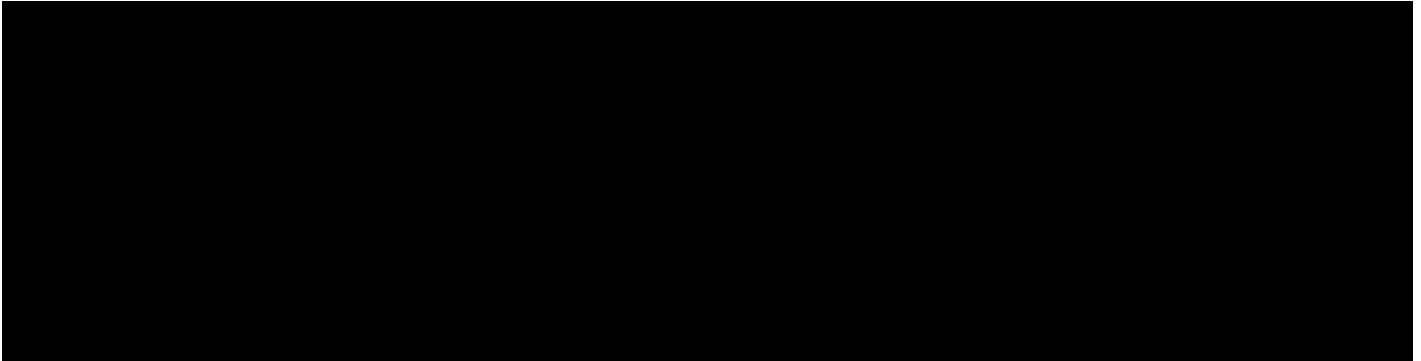
Dear Cllr Narenthira

Thank you for your email – I have put the order of agenda items as follows – As noted previously the speaker items will be heard first then followed by the non speaker items.

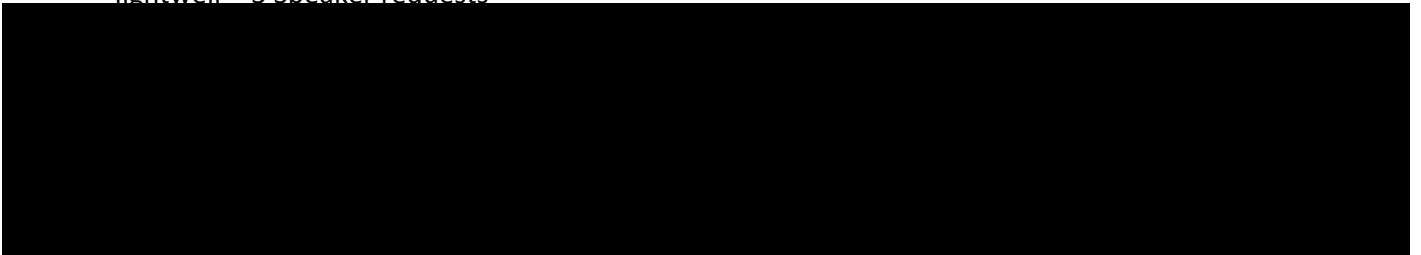
I trust this is ok.

40 Corringham is likely to be withdrawn off the agenda but I will leave it on the list until it is withdrawn.

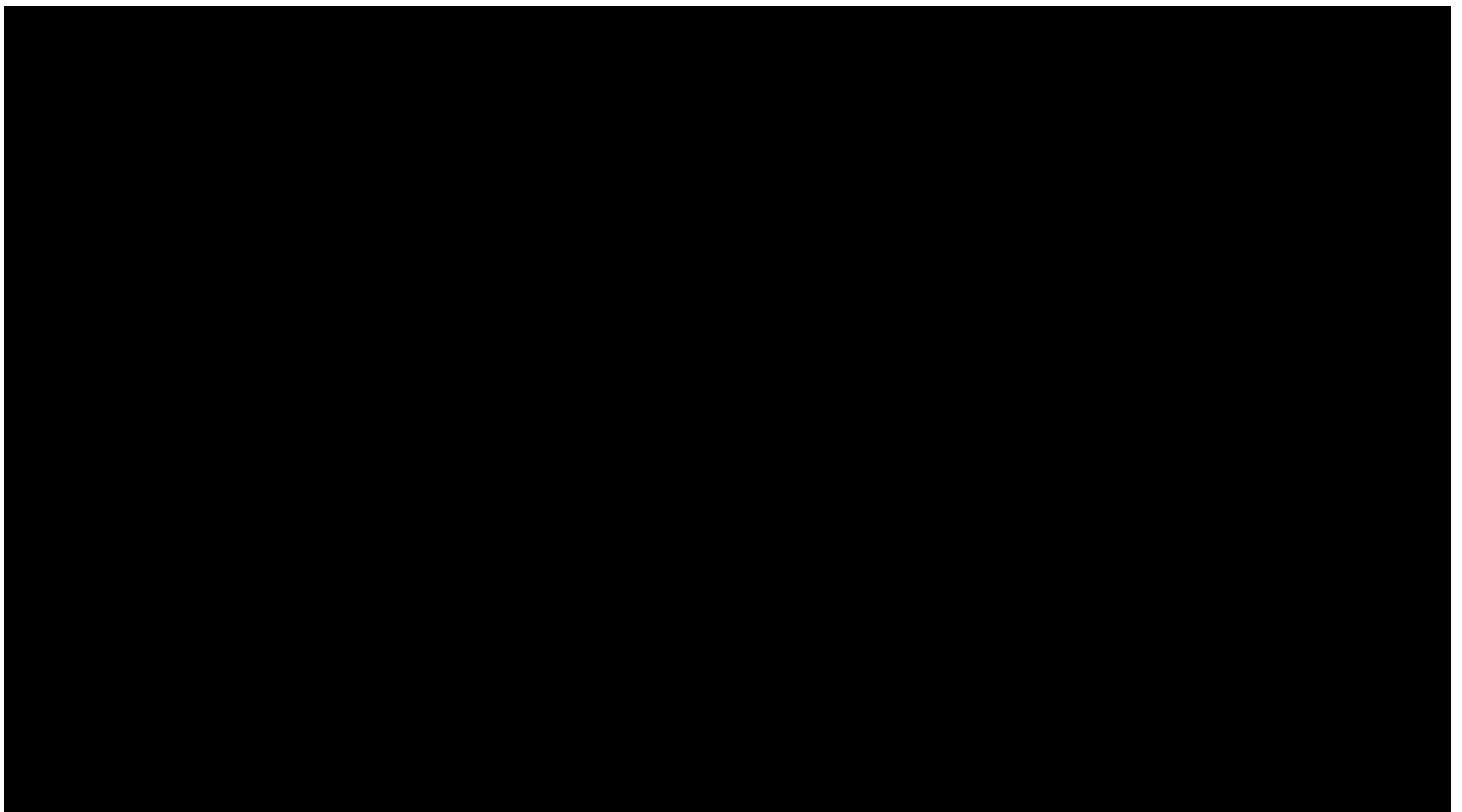
SPEAKER ITEMS



3. **40 Corringham Road NW11 7BU - 21/6722/HSE** Formation of basement level with associated front lightwell - 3 Speaker requests



NON SPEAKER ITEMS



Kind Regards,
Heidi

Heidi Euzger MRTPI
Planning Manager
Development Management Team
2 Bristol Avenue, Colindale, London, NW9 4EW
Tel: 020 8359 4720
Email: heidi.euzger@barnet.gov.uk

I am available Monday, Tuesday, Wednesday and Thursday all day.

Barnet Online: [<www.barnet.gov.uk>](http://www.barnet.gov.uk)

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For queries relating to the Council's Fast Track Pilot Scheme, please email planning.premium@barnet.gov.uk

For queries relating to the Pre-Application requests, please email planning.preapp@barnet.gov.uk



Carter, Richard

From: Springthorpe, Mark
Sent: 01 June 2022 17:24
To: [REDACTED]; SWM; Euzger, Heidi
Cc: [REDACTED] Feldman, Lesley; Bell, Emily
Subject: RE: COMMITTEE A 8/6 - 40 Corringham Road, NW11 7BU

Hi [REDACTED]

Ok, great.

So the CDA's in our LFRMS are not the EA ones – so it doesn't trigger the requirement and although the LFRMS identifies future risk, it is not the Strategic FRA (which is the West London SFRA) – so again, it doesn't trigger the requirement in the NPPF?

I can't find an online resource showing me a map of the EA critical drainage areas. Would they be identified on the map you have included below, or if not, do you know where I can find the map?

Also, I can't see that the West London SFRA identifies this area as being at increased risk in future. Their map appears to correspond to the one you have included below – so I presume it is not identified?

Assuming the above is correct, then hopefully we can be sure we haven't done anything fundamentally wrong – and then it is just up to the planning officer to decide if any information provided to us by the surrounding residents warrants us requesting a site-specific FRA from the applicant?

Many thanks!

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

PLEASE NOTE: MY WORKING DAYS ARE TUESDAY-FRIDAY



Consider the environment. Do you really need to print this email?

From: [REDACTED]@Barnet.gov.uk>

Sent: 01 June 2022 17:02

To: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>; SWM <SWM@Barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>

Cc: [REDACTED]@Barnet.gov.uk>; [REDACTED]@Barnet.gov.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>

Subject: RE: COMMITTEE A 8/6 - 40 Corringham Road, NW11 7BU

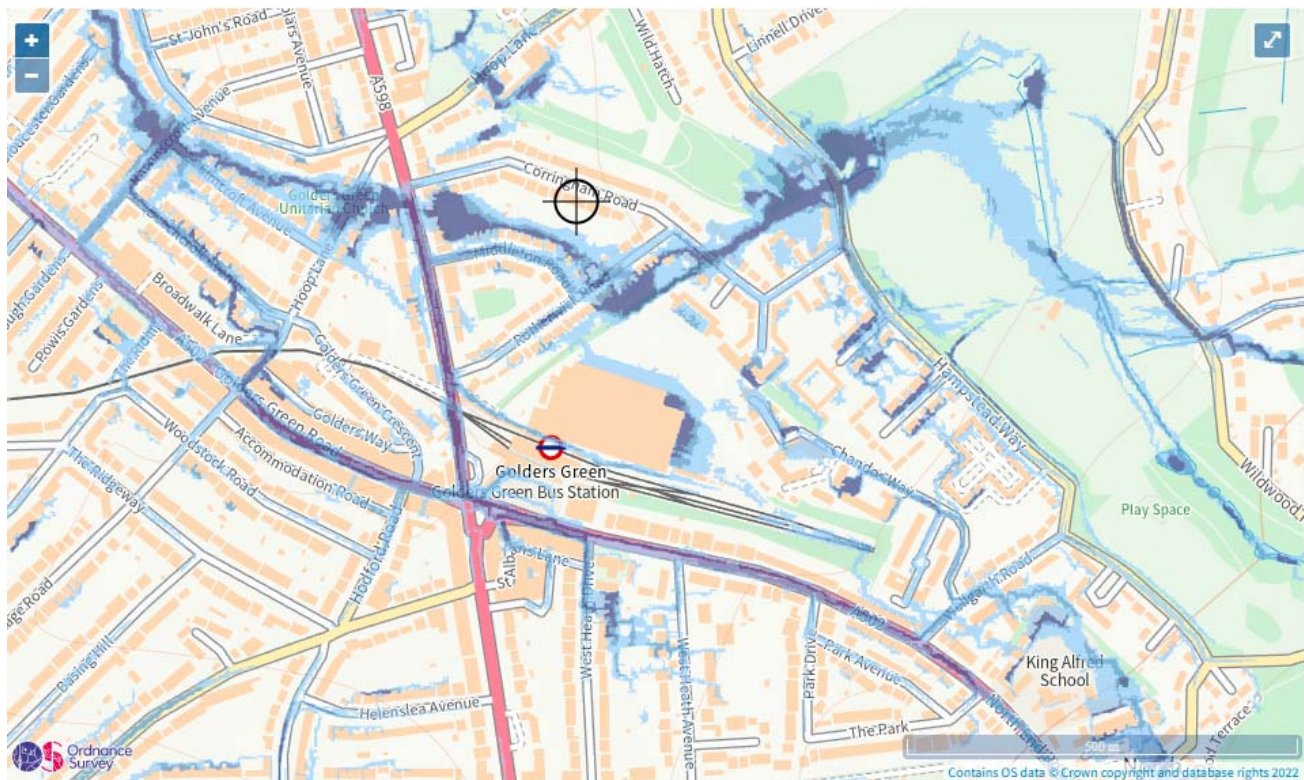
Hi Mark,

The CDA's are mapped by the Council not the Environment Agency which are mapped within our strategy-as linked below. The 33 CDA's are the areas which are at highest risk of surface water flooding in the borough.

The site specific FRAs are required for all major developments within these 33 CDAs-which is the requirement by ourselves when we review planning applications. However, for minor applications it is on the discretion of Planning Officer.

I agree that the site is on low risk from rivers and surface water although it is in close proximity to a flow route. Hope this info helps,

[Learn more about this area's flood risk - GOV.UK \(check-long-term-flood-risk.service.gov.uk\)](https://www.gov.uk/check-long-term-flood-risk.service.gov.uk)



Extent of flooding from surface water

High Medium Low Very low Location you selected

From: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>

Sent: 01 June 2022 16:08

To: [REDACTED]@Barnet.gov.uk>; SWM <SWM@Barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>

Cc: [REDACTED]@Barnet.gov.uk>; [REDACTED]@Barnet.gov.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>

Subject: COMMITTEE A 8/6 - 40 Corringham Road, NW11 7BU

Importance: High

Hi [REDACTED] et al,

We have a case going to committee next week where there are questions about flooding and I just want to check I am interpreting things correctly – as it may lead to the item being withdrawn:

Using the Flood Risk Map for Planning, the site falls within FZ1. However, looking at the LBB Local Flood Risk Management Strategy (2017) I would say that this site appears to fall into Critical Drainage Area CDA_018

If I am understanding the Strategy correctly, it identifies this CDA as having potential future risk (indeed, it ranks it at No 1).

Footnote 55 of the NPPF states:

A site-specific flood risk assessment should be provided for all development in Flood Zones 2 and 3. In Flood Zone 1, an assessment should accompany all proposals involving: sites of 1 hectare or more; land which has been identified by the Environment Agency as having critical drainage problems; land identified in a strategic flood risk assessment as being at increased flood risk in future; or land that may be subject to other sources of flooding, where its development would introduce a more vulnerable use

I can't seem to find the EA map of their identified CDA's, so I'm not clear if they are the same/this site is also in a CDA as identified by them?

Nonetheless, does its identification within the LBB Local FRMS mean that it triggers the need for a site-specific FRA?

By way of background, the Report for Committee simply states that it is FZ1 and 'very low risk', but apparently the local residents have commissioned someone who has done a study and they identify a high risk (of some sort). We haven't seen this report yet, but we need to know if we have our ducks-in-a-row before we can counter any allegation.

Many thanks!

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

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Carter, Richard

From: Springthorpe, Mark
Sent: 01 June 2022 12:11
To: Planning.Committees; Euzger, Heidi
Cc: Bates, Andy; Gaudin, Fabien
Subject: RE: Planning Committee A 8th June 2022
Attachments: Committee A -Speakers list- 8th June 2022.xlsx

Hi [REDACTED]

Please see attached.
The letters were sent out yesterday.

Who is clerking the meeting next week?

Thanks

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

PLEASE NOTE: MY WORKING DAYS ARE TUESDAY-FRIDAY



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From: Planning.Committees <Planning.Committees@Barnet.gov.uk>
Sent: 01 June 2022 12:07
To: Planning.Committees <Planning.Committees@Barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Cc: Bates, Andy <Andy.Bates@Barnet.gov.uk>; Gaudin, Fabien <fabien.gaudin@barnet.gov.uk>
Subject: RE: Planning Committee A 8th June 2022

Hi all

Please could I have the speakers list for 8th June Planning Committee A in order to contact the speakers today.

Thanks,



From: Planning.Committees <Planning.Committees@Barnet.gov.uk>

Sent: 27 May 2022 16:35

To: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>; Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>

Cc: Bates, Andy <Andy.Bates@Barnet.gov.uk>; Gaudin, Fabien <fabien.gaudin@barnet.gov.uk>

Subject: RE: Planning Committee A 8th June 2022

Hi all,

Agenda has now been published: [Agenda for Planning Committee A on Wednesday 8th June, 2022, 7.00 pm | Barnet Council \(moderngov.co.uk\)](https://barnet.moderngov.co.uk)

The Speakers list deadline will be Wednesday 1st June, due to the bank holidays.

Thanks

Abi

Abigail Lewis

Governance Service Manager,

Governance Service, Assurance Group

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW Tel: 020 8359 4369

| Web: www.barnet.gov.uk | Committee Papers: <https://barnet.moderngov.co.uk>



From: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>

Sent: 25 May 2022 09:42

To: Planning.Committees <Planning.Committees@Barnet.gov.uk>; Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>; [REDACTED] <[\[REDACTED\]@Barnet.gov.uk](mailto:[REDACTED]@Barnet.gov.uk)>; Lewis, Abigail <Abigail.Lewis@Barnet.gov.uk>

Cc: Bates, Andy <Andy.Bates@Barnet.gov.uk>; Gaudin, Fabien <fabien.gaudin@barnet.gov.uk>

Subject: Planning Committee A 8th June 2022

Dear All,

Could you please let us have the agenda items for the above committee and deadline for publication and speakers list as soon as possible so we can liaise with the Chair and make arrangements for member site visits.

Mark and I will be leading on this committee - please keep us both copied into your correspondence.

Many Thanks

Heidi

Heidi Euzger MRTPI

Planning Manager,

Development Management Team,

2 Bristol Avenue, Colindale, London, NW9 4EW

Tel: 020 8359 4720

Email: heidi.euzger@barnet.gov.uk

I am available Monday, Tuesday, Wednesday and Thursday all day.

Barnet Online: [<www.barnet.gov.uk>](http://www.barnet.gov.uk)

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For queries relating to the Pre-Application requests, please email planning.preapp@barnet.gov.uk



Committee Speakers for June 08, 2022

Planning Committee A

21/6722/HSE

40 Corringham Road
London
NW11 7BU

Formation of basement level with associated front lightwell

	Objection	Ms Mary Crowley	45 Corringham RoadLondonNW11 7BS	
	Objection	Mrs Stephanie Kuper	42 corringham road	
	Objection	Mr Gordon Kuper	42 corringham roadLondonNW11 7BU	
Applicant	Mr & Mrs Levison			
Agent	David Kavanagh			

Carter, Richard

From: Bell, Emily
Sent: 31 May 2022 14:55
To: [REDACTED]
Subject: RE: Planning Committee date for Application 21/6722/HSE

Dear Gordon,

Thank you for your email. Unfortunately we cannot move an item to another committee due to other engagements. You are able to send in a copy of an objection speech which can be read out to the committee members on the night. Alternatively, objections can be emailed to committee members prior to the meeting. Details of the members attending can be found here: <https://barnet.moderngov.co.uk/mgMeetingAttendance.aspx?ID=11084>

Kind regards,
Emily Bell
Senior Planning Officer
Finchley and Golders Green
Development and Regulatory Services
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 3589 | Web: barnet.gov.uk

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Carter, Richard

From: Gordon Kuper [REDACTED]
Sent: 31 May 2022 13:02
To: Bell, Emily; Planning.Committees
Cc: steph_berdah@hotmail.com
Subject: RE: Planning Committee date for Application 21/6722/HSE

** Warning External Email **

Dear Emily

I (and numerous members of the neighbourhood) have been trying to get hold of you for many months. Please could I kindly ask you to review correspondence from all the objectors who had asked for the meeting not to be held on 8 June as many residents and nominated speakers are away for jubilee celebrations

Please could we request for this meeting to be put back to the next planning meeting as per all our precious emails to you and the planning committees.

Many thanks
Gordon Kuper
[REDACTED]

-----Original Message-----

From: Emily.Bell@barnet.gov.uk <Emily.Bell@barnet.gov.uk>
Sent: 31 May 2022 12:45
To: [REDACTED]
Subject: Planning Committee date for Application 21/6722/HSE

Dear Sir/Madam,

Please see attached letter in respect of planning application 21/6722/HSE for Formation of basement level with associated front lightwell at 40 Corringham Road London

NW11 7BU

Kind regards

Emily Bell
Planning Assistant
Lesley Feldman

Carter, Richard

From: Euzger, Heidi
Sent: 31 May 2022 13:32
To: Bell, Emily; Springthorpe, Mark
Subject: RE: Committee Case 40 Corringham Road

Hi Emily

We cannot withdraw items just because of other engagements. They can send in their speech which can be read out to the members on the night. Equally they can email it to the members themselves. Please advise the item will be heard at the meeting.

From: Bell, Emily <Emily.Bell@Barnet.gov.uk>
Sent: 31 May 2022 13:10
To: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Subject: Committee Case 40 Corringham Road

Hi,

I've had the attached email from an objector to my committee case for 40 Corringham Road. What do you think I should advise them?

Emily Bell
Senior Planning Officer
Finchley and Golders Green
Development and Regulatory Services
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 3589 | Web: barnet.gov.uk



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Carter, Richard

From: Bell, Emily
Sent: 31 May 2022 13:10
To: Euzger, Heidi; Springthorpe, Mark
Subject: Committee Case 40 Corringham Road
Attachments: RE: Planning Committee date for Application 21/6722/HSE

Follow Up Flag: Follow up
Flag Status: Completed

Hi,

I've had the attached email from an objector to my committee case for 40 Corringham Road. What do you think I should advise them?

Emily Bell
Senior Planning Officer
Finchley and Golders Green
Development and Regulatory Services
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
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Carter, Richard

From: Euzger, Heidi
Sent: 30 May 2022 17:56
To: Narenthira, Cllr Nagus
Cc: Springthorpe, Mark; Gaudin, Fabien; Bates, Andy
Subject: FW: COMMITTEE A - 8th June 2022

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Cllr Narenthira,
Congratulations on becoming the new chair of Planning Committee A.

Mark and I are both lead officers for Committee A and we both look forward to working with you. Just so that you are aware Mark's working days are Tues, Wed, Thurs and Friday and mine are Mon, Tues, Wed and Thursday.

In preparation for the above committee please see the agenda items listed below. Usually the agenda items are heard in the order of speaker items first followed by non speaker items. However as the chair of the committee you have the discretion to change the order if you so wish.

For the member site visits (actual and virtual) whilst I would normally agree a date with the chair in advance, however, given the short notice we've had to prepare for this committee and the short working week with the intervening Bank Holidays I am suggesting that member site visits takes place on Tuesday 7th June with the actual visits commencing at 10am in the morning and virtual site briefings at 4pm in the afternoon. I trust this fits within your diary.

With your agreement I suggest that members visit items 1; 5; 7;-8 and 10 listed below but do let me know if you wish to include any other visits. Officers need to make access arrangement therefore your early reply would be much appreciated

List of agenda items

-
2. 40 Corringham Road NW11 7BU - 21/6722/HSE Formation of basement level with associated front lightwell - 3 Speaker requests
-

Once I hear back from you I will email the itinerary to the members of the committee.

I look forward to hearing from you at the earliest.

Best Regards,

Heidi

Heidi Euzger MRTPI
Planning Manager
Development Management Team
2 Bristol Avenue, Colindale, London, NW9 4EW
Tel: 020 8359 4720
Email: heidi.euzger@barnet.gov.uk

I am available Monday, Tuesday, Wednesday and Thursday all day.

Barnet Online: [<www.barnet.gov.uk>](http://www.barnet.gov.uk)

Please consider the environment - do you really need to print this email?



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For queries relating to the Pre-Application requests, please email planning.preapp@barnet.gov.uk



Carter, Richard

From: Bell, Emily
Sent: 31 May 2022 14:55
To: [REDACTED]
Subject: RE: Planning Committee date for Application 21/6722/HSE

Dear Gordon,

Thank you for your email. Unfortunately we cannot move an item to another committee due to other engagements. You are able to send in a copy of an objection speech which can be read out to the committee members on the night. Alternatively, objections can be emailed to committee members prior to the meeting. Details of the members attending can be found here: <https://barnet.moderngov.co.uk/mgMeetingAttendance.aspx?ID=11084>

Kind regards,
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Senior Planning Officer
Finchley and Golders Green
Development and Regulatory Services
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
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-----Original Message-----

From: Gordon Kuper [REDACTED]
Sent: 31 May 2022 13:02
To: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>
Cc: steph_berdah [REDACTED]
Subject: RE: Planning Committee date for Application 21/6722/HSE

**** Warning External Email ****

Dear Emily

I (and numerous members of the neighbourhood) have been trying to get hold of you for many months. Please could I kindly ask you to review correspondence from all the objectors who had asked for the meeting not to be held on 8 June as many residents and nominated speakers are away for jubilee celebrations

Please could we request for this meeting to be put back to the next planning meeting as per all our precious emails to you and the planning committees.

Many thanks

Gordon Kuper
[REDACTED]

-----Original Message-----

From: Emily.Bell@barnet.gov.uk <Emily.Bell@barnet.gov.uk>

Sent: 31 May 2022 12:45
[REDACTED]

Subject: Planning Committee date for Application 21/6722/HSE

Dear Sir/Madam,

Please see attached letter in respect of planning application 21/6722/HSE for Formation of basement level with associated front lightwell at 40 Corringham Road London

NW11 7BU

Kind regards

Emily Bell

Planning Assistant

Lesley Feldman

Carter, Richard

From: [REDACTED]@kuper.co.il>
Sent: 31 May 2022 13:02
To: Bell, Emily; Planning.Committees
Cc: steph_berdah [REDACTED]
Subject: RE: Planning Committee date for Application 21/6722/HSE

** Warning External Email **

Dear Emily

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Many thanks
Gordon Kuper
[REDACTED]

-----Original Message-----

From: Emily.Bell@barnet.gov.uk <Emily.Bell@barnet.gov.uk>
Sent: 31 May 2022 12:45
To: [REDACTED]
Subject: Planning Committee date for Application 21/6722/HSE

Dear Sir/Madam,

Please see attached letter in respect of planning application 21/6722/HSE for Formation of basement level with associated front lightwell at 40 Corringham Road London

NW11 7BU

Kind regards

Emily Bell
Planning Assistant
Lesley Feldman

Carter, Richard

From: Planning.Committees
Sent: 27 May 2022 10:15
To: Springthorpe, Mark; [REDACTED]; Lewis, Abigail; Natynczyk, Jan
Cc: Planning.Committees; Euzger, Heidi
Subject: RE: COMMITTEE A - 8/6

Importance: High

Follow Up Flag: Follow up
Flag Status: Completed

Hi all,

Due to the bank holiday, publication for the 8th June will be today. The list of items on the agenda are as follows:

I am going to check the inbox now and make sure we have final versions of all the reports.

40 Corringham Road NW11 7BU - 21/6722/HSE
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

Thanks
Abi

Abigail Lewis
Governance Service Manager,
Governance Service, Assurance Group
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW Tel: 020 8359 4369
| Web: www.barnet.gov.uk | Committee Papers: <https://barnet.moderngov.co.uk>



From: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Sent: 27 May 2022 08:40

To: [REDACTED]@Barnet.gov.uk>; Lewis, Abigail <Abigail.Lewis@Barnet.gov.uk>; Natynczyk, Jan <Jan.Natynczyk@Barnet.gov.uk>
Cc: Planning.Committees <Planning.Committees@Barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>
Subject: COMMITTEE A - 8/6
Importance: High

Hi All

I am going to be doing Committee A on the 8th June and I'm anxious to get the letters out given the intervening Bank Holidays (and I am not working on Monday).

Can you please let me know when the Agenda is going to be published – and can you also give me an advance list of the cases so I can get the ball rolling at our end?

Thanks!

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

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Carter, Richard

From: Planning.Committees
Sent: 19 April 2022 12:36
To: Euzger, Heidi; Planning.Committees; Springthorpe, Mark; Feldman, Lesley; Quille, Eva
Cc: [REDACTED]
Subject: RE: Planning A 27th April

Importance: High

Hi all,

The monitoring officer and Fabien have now taken the decision this morning to cancel the Planning A meeting due to take place on the 27th April. As such, no publication will take place today. These reports will be pushed onto the next meeting. Governance will be looking to arrange additional meetings post elections to clear the backlog that will come from this decision.

Many thanks
Abi

Abigail Lewis
Governance Service Manager,
Governance Service, Assurance Group
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW Tel: 020 8359 4369
| Web: www.barnet.gov.uk | Committee Papers: <https://barnet.moderngov.co.uk>



From: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>
Sent: 19 April 2022 10:06
To: Planning.Committees <Planning.Committees@Barnet.gov.uk>; Lewis, Abigail <Abigail.Lewis@Barnet.gov.uk>; Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Quille, Eva <Eva.Quille@Barnet.gov.uk>
Subject: RE: Planning A 27th April

H [REDACTED]
I sent [REDACTED] over a week ago - any reason why this cannot be included instead of the [REDACTED] which only came in this morning?

Thanks
Heidi
Heidi Euzger MRTPI
Chipping Barnet Area Planning Manager,
Development Management Team,
2 Bristol Avenue, Colindale, London, NW9 4EW

Tel: 020 8359 4720
Email: heidi.euzger@barnet.gov.uk

I am available Monday, Tuesday, Wednesday and Thursday all day.

Barnet Online: www.barnet.gov.uk

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For queries relating to the Pre-Application requests, please email planning.preapp@barnet.gov.uk



From: Planning.Committees <Planning.Committees@Barnet.gov.uk>

Sent: 19 April 2022 10:00

To: Lewis, Abigail <Abigail.Lewis@Barnet.gov.uk>; Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Quille, Eva <Eva.Quille@Barnet.gov.uk>

Subject: RE: Planning A 27th April

Importance: High

Good Morning,

I have the following items on the upcoming agenda but I have not received a report for the last item. Please advise. Thank you.

40 Corringham Road NW11 7BU - 21/6722/HSE

In addition, a request for [REDACTED] has come in this morning but will confirm with Governance if this can be added.

Kind regards,

[REDACTED]
[REDACTED]
Governance Officer – Governance Service, Assurance

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW

Tel: [REDACTED] | Mobile: [REDACTED] | www.barnet.gov.uk/elections



From: Lewis, Abigail <Abigail.Lewis@Barnet.gov.uk>

Sent: 14 April 2022 16:05

To: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Bokaei, Cllr Golnar <Cllr.G.Bokaei@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>

Cc: Charlwood, Andrew <Andrew.Charlwood@Barnet.gov.uk>

Subject: Planning A 27th April

Importance: High

Dear all,

Just to let you know, Planning A will now be going ahead on the 27th April, as we were not able to agree the convening of Planning B committee with a majority of Members.

Councillor Prentice has confirmed she is available to Chair this meeting.

Thanks
Abi

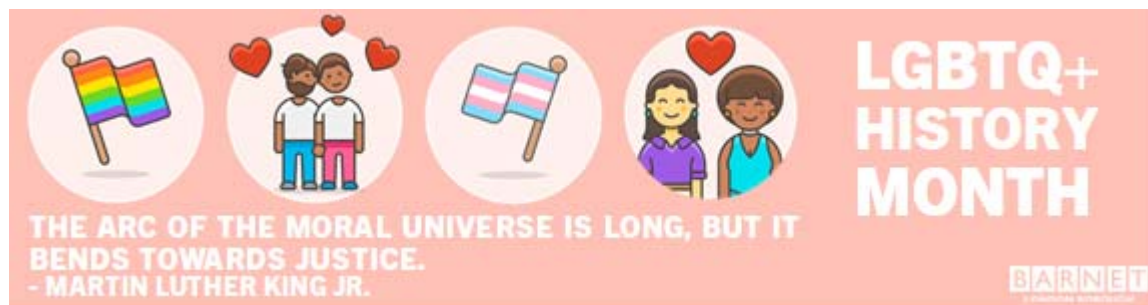
Abigail Lewis

Governance Service Manager,

Governance Service, Assurance Group

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW Tel: 020 8359 4369

| Web: www.barnet.gov.uk | Committee Papers: <https://barnet.moderngov.co.uk>



Carter, Richard

From: [REDACTED]
Sent: 11 April 2022 17:29
To: Bates, Andy; Euzger, Heidi; Feldman, Lesley; Springthorpe, Mark
Cc: Charlwood, Andrew; Lewis, Abigail
Subject: Planning Committee - 27 April

Follow Up Flag: Follow up
Flag Status: Completed

Dear Planning colleagues,

Just to note that due to the change in political affiliation of one of the Members of Planning A – we're in the process of swapping Planning A with Planning B instead on the same day, 27 April, 7PM. Please note this is TBC as we're currently consulting with Members. It doesn't change anything to the items that will be reported to Committee on 27 April. You may therefore need to consult Cllr Bokaei (Chair of Planning B) instead as well as site visit arrangements.

Please see below current list of items for Planning Committee 27 April. Reports should be received by 5pm Thursday 14 April. The agenda will be published on 19th April. Speakers list should be sent to the planning inbox by Friday 22nd April.

	Planning Committee. - 27 April 2022	Timing (mins)
1	40 Corringham Road NW11 7BU - 21/6722/HSE	20

Thanks,

[REDACTED]

Senior Governance Officer – Governance Service, Assurance Group

London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW

Tel [REDACTED] | Mobile [REDACTED] | Web: barnet.gov.uk

Barnet's ward boundaries have changed.

This means where you go to vote on 5 May might have changed.
Find out more and register to vote: www.barnet.gov.uk/elections



#GetReadyToVote

BARNET
LONDON BOROUGH

Notice of leave: 12 April – 25 April

Carter, Richard

From: [REDACTED]
Sent: 06 June 2022 10:44
To: Springthorpe, Mark; jimmy.walsh@harrow.gov.uk; Charlwood, Andrew; Euzger, Heidi; Feldman, Lesley; Bell, Emily
Cc: Planning.Committees
Subject: RE: 21/6722/HSE : Request to change of date for committee

Hi all,

In the circumstances I believe it would be reasonable for officers to recommend a withdrawal/ deferral of the item based on the reasons below. Also, we've received a number of emails from the speakers stating they would prefer a deferral of the item. We will need to inform the applicant, agent and speakers.

Mark/Heidi – will you contact the agent and applicant or are you ok for me to contact them to state that the item will be withdrawn until a later meeting. If so, please could you provide a brief paragraph about the reasons as I don't want to refer to any information below without clearance.

Thanks,

[REDACTED]

From: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Sent: 01 June 2022 19:36
To: Jimmy Walsh <jimmy.walsh@harrow.gov.uk>; [REDACTED] <[\[REDACTED\]@Barnet.gov.uk](mailto:[REDACTED]@Barnet.gov.uk)>; Charlwood, Andrew <Andrew.Charlwood@Barnet.gov.uk>
Cc: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>
Subject: FW: 21/6722/HSE : Request to change of date for committee
Importance: High

Hi Jimmy [REDACTED]/Andrew

Further to Heidi's earlier email (below) and notwithstanding those asking for deferral in order to attend, officers have some urgent concerns about proceeding with the above item in any event next week that we would appreciate your opinion on.

This application has 24no objections, of which I understand all to some extent refer to flood risk. Nonetheless, in response, the published Report says only the following:

o Potential to increase flood risk

The property is located within Flood Zone 1 and as such there are no concerns regarding risk of flooding. A postcode check for the application site also confirms that surface water flood risk is 'very low risk'.

This is not factually incorrect if you look at the Flood Risk Map for Planning. However, with regard to the LBB Local Flood Risk Management Strategy (2017) I would say that this site appears to fall into Critical Drainage Area CDA_018 (as identified by Barnet) and it appears that the LBB Strategy identifies this CDA as having potential future risk (indeed, it ranks it at No 1)

Footnote 55of the NPPF states:

A site-specific flood risk assessment should be provided for all development in Flood Zones 2 and 3. In Flood Zone 1, an assessment should accompany all proposals involving: sites of 1 hectare or more; land which has been identified by the Environment Agency as having critical drainage problems; land identified in a strategic flood risk assessment as being at increased flood risk in future; or land that may be subject to other sources of flooding, where its development would introduce a more vulnerable use

I cannot find the EA's map of identified CDA's, so I can't confirm if they also include this area. However, I have checked with the Lead Local Flood Authority and they suggest that the trigger in the NPPF have not been met.

Nonetheless, it is (in the circumstances of the Barnet FRMS) at the discretion of officers to request a site-specific FRA.

I also understand that Heidi had a lengthy conversation with one of the speaking objectors yesterday and we are informed that the residents have got together and commissioned someone to do a study and they have concluded that there is a high risk of some form of flooding impact from the proposal.

We have not yet been presented with this report however, we presume that it either will come before Wednesday, or either it or its contents will be brought to the attention of Member(s) – either before the meeting or by the objector(s) on the night. In either circumstance, we would not have the opportunity or the expertise to properly digest and appropriately (or at least confidently) respond to any questions from Members. It may indeed be that we would in response request an FRA from the Applicant.

I suspect therefore that the most likely outcome in any event will be Members voting for a deferral.

Although we are not yet in possession of the residents document, so presumably cannot be obliged to consider its contents, Heidi and I both consider it prudent to withdraw the item from the Agenda on the 8th.

Notwithstanding the other calls for it to be deferred, do we agree that we ought to and could withdraw the item on that basis – and if so, what is the proper procedure?

Many thanks

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

PLEASE NOTE: MY WORKING DAYS ARE TUESDAY-FRIDAY



From: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>
Sent: 01 June 2022 16:14
To: [REDACTED] <[REDACTED]@Barnet.gov.uk>
Cc: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Subject: RE: 21/6722/HSE : Request to change of date for committee

H [REDACTED]
Mark and I have no objection for this item to be withdrawn off the agenda but don't we need to give a reason?? I am sure the applicant is going to enquire why it has been taken off.
Thanks
Heidi

From: [REDACTED] <[REDACTED]@Barnet.gov.uk>
Sent: 01 June 2022 14:54
To: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>
Subject: RE: 21/6722/HSE : Request to change of date for committee

Hi Heidi,

I believe we can accommodate this and postpone the item to Planning B on 22nd June? Does that sound ok and I can let Cllr Narenthira know.

Thanks

[REDACTED]

From: Charlwood, Andrew <Andrew.Charlwood@Barnet.gov.uk>
Sent: 31 May 2022 21:30
To: Narenthira, Cllr Nagus <Cllr.N.Narenthira@Barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; [REDACTED] <[REDACTED]@Barnet.gov.uk>
Subject: Re: 21/6722/HSE : Request to change of date for committee

Hi [REDACTED]

Can you consider pls?

Thanks

Andrew

Get [Outlook for iOS](#)

From: Narenthira, Cllr Nagus <Cllr.N.Narenthira@Barnet.gov.uk>
Sent: Tuesday, May 31, 2022 6:10:47 PM
To: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Charlwood, Andrew <Andrew.Charlwood@Barnet.gov.uk>
Subject: FW: 21/6722/HSE : Request to change of date for committee

I received this request today. Please advise as to what we can do about this?

From: Perlberg, Cllr Matthew <Cllr.M.Pperlberg@Barnet.gov.uk>
Sent: 31 May 2022 16:13

To: Narenthira, Cllr Nagus <Cllr.N.Narenthira@Barnet.gov.uk>
Subject: Fwd: 21/6722/HSE : Request to change of date for committee

Hi Nagus,

Further to our telephone conversation.

Below is the forwarded request from one of my ward residents. A collective of residents from Corringham Road have asked for the first agenda item to be postponed to a later date (to committee meeting B).

I am aware that the council have had several requests from different residents from this road over the course of the last month. I would be grateful if you could see if the agenda item can be postponed and included in the committee meeting B, which is in two weeks from meeting A.

I appreciate your help in this matter.

Many thanks,

Cllr Matthew Perlberg
Childs Hill Ward
Tele: 07716 092360

From: Gordon Kuper <gordon@kuper.co.il>
Sent: Tuesday, 31 May 2022, 13:28
To: Perlberg, Cllr Matthew <Cllr.M.Pperlberg@Barnet.gov.uk>
Subject: FW: 21/6722/HSE : Request to change of date for committee

**** Warning External Email ****

fyi

From: Gordon Kuper [REDACTED]
Sent: 13 May 2022 13:46
To: 'planning.committees@barnet.gov.uk' <planning.committees@barnet.gov.uk>
Cc: 'Mary Crowley and Dillon' <[REDACTED]>; [REDACTED] <steph_berdah@barnet.gov.uk>
Subject: 21/6722/HSE : Request to change of date for committee

Dear Planning Committee office.

We hear from our case officer that our case should be reviewed early June however we and our neighbours (those nominated to speak on behalf of the 23 objections) won't be able to attend this date , due to the bank holiday weekend and holidays around that.

May we respectfully request to postpone our case to another date later in June , say 22 June
Our case number is 21/6722/HSE.

Many thanks for your help.

Mrs Kuper
[REDACTED]

Carter, Richard

From: Springthorpe, Mark
Sent: 01 June 2022 17:24
To: [REDACTED]; SWM; Euzger, Heidi
Cc: [REDACTED]; Feldman, Lesley; Bell, Emily
Subject: RE: COMMITTEE A 8/6 - 40 Corringham Road, NW11 7BU

H [REDACTED]

Ok, great.

So the CDA's in our LFRMS are not the EA ones – so it doesn't trigger the requirement and although the LFRMS identifies future risk, it is not the Strategic FRA (which is the West London SFRA) – so again, it doesn't trigger the requirement in the NPPF?

I can't find an online resource showing me a map of the EA critical drainage areas. Would they be identified on the map you have included below, or if not, do you know where I can find the map?

Also, I can't see that the West London SFRA identifies this area as being at increased risk in future. Their map appears to correspond to the one you have included below – so I presume it is not identified?

Assuming the above is correct, then hopefully we can be sure we haven't done anything fundamentally wrong – and then it is just up to the planning officer to decide if any information provided to us by the surrounding residents warrants us requesting a site-specific FRA from the applicant?

Many thanks!

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

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From: [REDACTED]@Barnet.gov.uk>

Sent: 01 June 2022 17:02

To: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>; SWM <SWM@Barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>

Cc: [REDACTED]@Barnet.gov.uk>; [REDACTED]@Barnet.gov.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>

Subject: RE: COMMITTEE A 8/6 - 40 Corringham Road, NW11 7BU

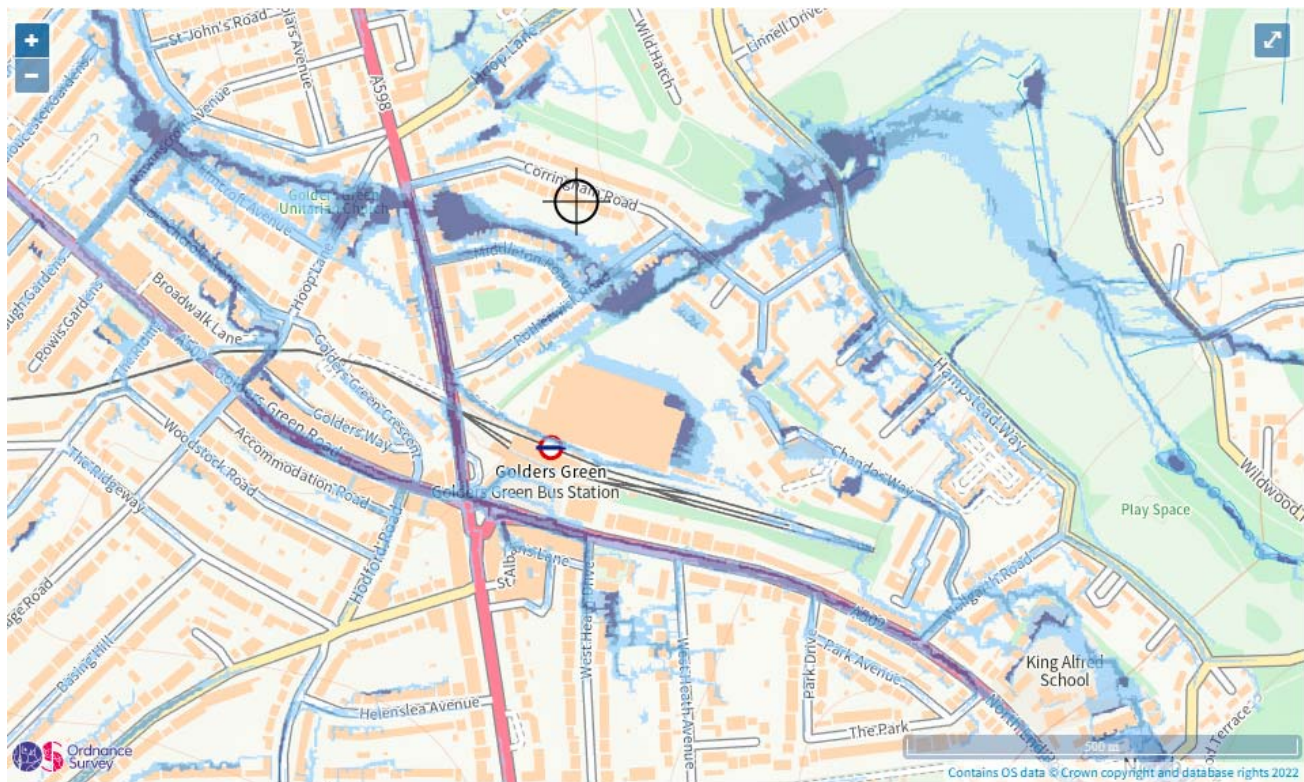
Hi Mark,

The CDA's are mapped by the Council not the Environment Agency which are mapped within our strategy-as linked below. The 33 CDA's are the areas which are at highest risk of surface water flooding in the borough.

The site specific FRAs are required for all major developments within these 33 CDAs-which is the requirement by ourselves when we review planning applications. However, for minor applications it is on the discretion of Planning Officer.

I agree that the site is on low risk from rivers and surface water although it is in close proximity to a flow route. Hope this info helps,

[Learn more about this area's flood risk - GOV.UK \(check-long-term-flood-risk.service.gov.uk\)](https://gov.uk/check-long-term-flood-risk.service.gov.uk)



Extent of flooding from surface water

High Medium Low Very low Location you selected

From: Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>

Sent: 01 June 2022 16:08

To: [REDACTED]@Barnet.gov.uk>; SWM <SWM@Barnet.gov.uk>; Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>

Cc: Moloney, Jason <Jason.Moloney@Barnet.gov.uk>; [REDACTED]@Barnet.gov.uk>; Feldman, Lesley <Lesley.Feldman@barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>

Subject: COMMITTEE A 8/6 - 40 Corringham Road, NW11 7BU

Importance: High

Hi [REDACTED] et al,

We have a case going to committee next week where there are questions about flooding and I just want to check I am interpreting things correctly – as it may lead to the item being withdrawn:

Using the Flood Risk Map for Planning, the site falls within FZ1. However, looking at the LBB Local Flood Risk Management Strategy (2017) I would say that this site appears to fall into Critical Drainage Area CDA_018

If I am understanding the Strategy correctly, it identifies this CDA as having potential future risk (indeed, it ranks it at No 1).

Footnote 55 of the NPPF states:

A site-specific flood risk assessment should be provided for all development in Flood Zones 2 and 3. In Flood Zone 1, an assessment should accompany all proposals involving: sites of 1 hectare or more; land which has been identified by the Environment Agency as having critical drainage problems; land identified in a strategic flood risk assessment as being at increased flood risk in future; or land that may be subject to other sources of flooding, where its development would introduce a more vulnerable use

I can't seem to find the EA map of their identified CDA's, so I'm not clear if they are the same/this site is also in a CDA as identified by them?

Nonetheless, does its identification within the LBB Local FRMS mean that it triggers the need for a site-specific FRA?

By way of background, the Report for Committee simply states that it is FZ1 and 'very low risk', but apparently the local residents have commissioned someone who has done a study and they identify a high risk (of some sort). We haven't seen this report yet, but we need to know if we have our ducks-in-a-row before we can counter any allegation.

Many thanks!

Mark

Mark Springthorpe BA(Hons) MA(Dist)
Planning Manager – Planning & Building Control
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 4270 | Web: barnet.gov.uk

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Carter, Richard

From: Bell, Emily
Sent: 31 May 2022 14:55
To: [REDACTED]
Subject: RE: Planning Committee date for Application 21/6722/HSE

Dear Gordon,

Thank you for your email. Unfortunately we cannot move an item to another committee due to other engagements. You are able to send in a copy of an objection speech which can be read out to the committee members on the night. Alternatively, objections can be emailed to committee members prior to the meeting. Details of the members attending can be found here: <https://barnet.moderngov.co.uk/mgMeetingAttendance.aspx?ID=11084>

Kind regards,
Emily Bell
Senior Planning Officer
Finchley and Golders Green
Development and Regulatory Services
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 3589 | Web: barnet.gov.uk

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-----Original Message-----

From: Gordon Kuper [REDACTED]
Sent: 31 May 2022 13:02
To: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>
Cc: steph_berdah@barnet.gov.uk [REDACTED]
Subject: RE: Planning Committee date for Application 21/6722/HSE

**** Warning External Email ****

Dear Emily

I (and numerous members of the neighbourhood) have been trying to get hold of you for many months. Please could I kindly ask you to review correspondence from all the objectors who had asked for the meeting not to be held on 8 June as many residents and nominated speakers are away for jubilee celebrations

Please could we request for this meeting to be put back to the next planning meeting as per all our precious emails to you and the planning committees.

Many thanks

Gordon Kuper
[REDACTED]

-----Original Message-----

From: Emily.Bell@barnet.gov.uk <Emily.Bell@barnet.gov.uk>

Sent: 31 May 2022 12:45

To: [REDACTED]

Subject: Planning Committee date for Application 21/6722/HSE

Dear Sir/Madam,

Please see attached letter in respect of planning application 21/6722/HSE for Formation of basement level with associated front lightwell at 40 Corringham Road London

NW11 7BU

Kind regards

Emily Bell

Planning Assistant

Lesley Feldman

Carter, Richard

From: Euzger, Heidi
Sent: 31 May 2022 13:32
To: Bell, Emily; Springthorpe, Mark
Subject: RE: Committee Case 40 Corringham Road

Hi Emily

We cannot withdraw items just because of other engagements. They can send in their speech which can be read out to the members on the night. Equally they can email it to the members themselves. Please advise the item will be heard at the meeting.

From: Bell, Emily <Emily.Bell@Barnet.gov.uk>
Sent: 31 May 2022 13:10
To: Euzger, Heidi <Heidi.Euzger@barnet.gov.uk>; Springthorpe, Mark <Mark.Springthorpe@barnet.gov.uk>
Subject: Committee Case 40 Corringham Road

Hi,

I've had the attached email from an objector to my committee case for 40 Corringham Road. What do you think I should advise them?

Emily Bell
Senior Planning Officer
Finchley and Golders Green
Development and Regulatory Services
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 3589 | Web: barnet.gov.uk



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From: Quille, Eva
Sent: 11 May 2022 18:04
To: Lewis, Abigail <Abigail.Lewis@Barnet.gov.uk>
Subject: FW: Application No 21/6722/HSE - 40 Corringham Road

Good afternoon Abigail

Would it please be possible to given [REDACTED] an indication of the committee date for when his application will be considered. I have previously informed him that the cases which were to be heard at the cancelled 27April committee are planned to be heard at 8th June committee. Would you please be able to confirm/reassure him of this date, as he is being chased by his client. Subsequently he is chasing me and although I have forwarded a number of emails I don't think Governance have responded yet. I would be grateful if you could reply with a "potential" date please.

Kind Regards

Eva Quille
Deputy Planning Manager
Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
www.re-ltd.co.uk

Please note I work part time. My usual hours of working are Tuesday and Wednesday all day and Thursday morning.

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From: Quille, Eva
Sent: 11 May 2022 13:50
To: [REDACTED]@cranbrook.co.uk>
Cc: Lewis, Abigail <Abigail.Lewis@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Good afternoon [REDACTED]

Sorry for the delay in my response. As requested please find the details of a Governance Officer who should be able to help you with potential dates.

Abigail Lewis
Tel: 020 8359 4369
Email: Abigail.Lewis@Barnet.gov.uk

I am also awaiting an update for the future date and will also chase my previous emails.

Kind Regards

Eva Quille
Deputy Planning Manager
Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
www.re-ltd.co.uk

Please note I work part time. My usual hours of working are Tuesday and Wednesday all day and Thursday morning.

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From: [REDACTED] <[REDACTED]@cranbrook.co.uk>

Sent: 10 May 2022 15:16

To: Quille, Eva <Eva.Quille@Barnet.gov.uk>

Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning Committees <Planning.Committees@Barnet.gov.uk>

Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good afternoon Eva

Are you able to give any update on the committee now that the local elections have taken place?

Thanks

Kind regards



Senior Architectural Designer

Cranbrook

Basement design & construction



732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: [REDACTED]
Sent: 28 April 2022 15:20
To: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Eva

Can you please provide details of a direct contact for someone at the Governance Section?

We are doing our best to manage our clients expectations, but he is keen to see us being proactive on this matter

Thanks

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook

Basement design & construction



732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Sent: 28 April 2022 14:20
To: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Dear [REDACTED]

I have forwarded your enquiry to our Governance Section to response to you, as they deal with the administration of committees. I have not received a reply as yet but will forward your enquiry again and ask them to contact you directly and give you an indication of the committee they plan for the application to be heard.

I believe that the provisional date of the 8th June has been suggested for the applications that were on the cancelled April agenda. The Governance Section can hopefully confirm this date to you shortly or advise you of any alternative date planned. The Local Elections are due to take next week so after this date there will be more information regarding the future Planning Committee meeting timetable and potential dates that the application could be heard.

I thank you for your patience over this matter.

Kind Regards

Eva Quille

Deputy Planning Manager - Finchley and Golders Green Team
Development Management & Building Control Service

2 Bristol Avenue, Colindale NW9 4EW

Tel: 020 8359 4380

Email: eva.quille@barnet.gov.uk

Barnet Online: www.barnet.gov.uk

www.re-ltd.co.uk

Please note I work part time. My usual hours of working are Tuesday and Wednesday all day and Thursday morning.

For queries relating to the Council's Fast Track Scheme, please email planning.premium@barnet.gov.uk

For queries relating to the Pre-Application requests, please email planning.preapp@barnet.gov.uk

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From: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>

Sent: 27 April 2022 16:12

To: Quille, Eva <Eva.Quille@Barnet.gov.uk>

Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>

Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good afternoon Eva

Can you give me any update on this please?

Has the cancelled committee now been rescheduled?

I look forward to hearing from you

Thanks

Kind regards

[REDACTED]

Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]

732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: [REDACTED]

Sent: 20 April 2022 15:50

To: Quille, Eva <Eva.Quille@Barnet.gov.uk>

Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>

Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Thank you Eva

I look forward to hearing from you again soon

Kind regards

[REDACTED]

Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]
732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Sent: 20 April 2022 14:46
To: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Dear [REDACTED]

As I do not deal with the administration of Committee I can not confirm which committee the case will go too, but I believe it is intended to move the cases from the cancelled agenda to the next available meeting on the 8th June. I have however forwarded your email to the Governance section and have explained the situation regarding your case and have asked them to confirm to you as to which committee the case will be reported too.

Kind Regards

Eva Quille
Deputy Planning Manager - Finchley and Golders Green Team
Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
www.re-ltd.co.uk

Please note I work part time. My usual hours of working are Tuesday and Wednesday all day and Thursday morning.

For queries relating to the Council's Fast Track Scheme, please email planning.premium@barnet.gov.uk

For queries relating to the Pre-Application requests, please email planning.preapp@barnet.gov.uk

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From: Quille, Eva
Sent: 28 April 2022 14:24
To: Planning.Committees <Planning.Committees@Barnet.gov.uk>
Subject: FW: Application No 21/6722/HSE - 40 Corringham Road

Hi

Please can you reply to the agent directly regarding rescheduled committee dates (see email trail below) as they have sent a number of emails now.

Thanks

Kind Regards

Eva Quille
Deputy Planning Manager - Finchley and Golders Green Team

Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
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From: Quille, Eva
Sent: 28 April 2022 14:20
To: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Dear [REDACTED]

I have forwarded your enquiry to our Governance Section to response to you, as they deal with the administration of committees. I have not received a reply as yet but will forward your enquiry again and ask them to contact you directly and give you an indication of the committee they plan for the application to be heard.

I believe that the provisional date of the 8th June has been suggested for the applications that were on the cancelled April agenda. The Governance Section can hopefully confirm this date to you shortly or advise you of any alternative date planned. The Local Elections are due to take next week so after this date there will be more information regarding the future Planning Committee meeting timetable and potential dates that the application could be heard.

I thank you for your patience over this matter.

Kind Regards

Eva Quille

Deputy Planning Manager - Finchley and Golders Green Team

Development Management & Building Control Service

2 Bristol Avenue, Colindale NW9 4EW

Tel: 020 8359 4380

Email: eva.quille@barnet.gov.uk

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From: [REDACTED] <[REDACTED]@cranbrook.co.uk>
Sent: 27 April 2022 16:12
To: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning Committees <Planning.Committees@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good afternoon Eva

Can you give me any update on this please?

Has the cancelled committee now been rescheduled?

I look forward to hearing from you

Thanks

Kind regards

[REDACTED]

Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]

732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: [REDACTED]
Sent: 20 April 2022 15:50
To: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Thank you Eva

I look forward to hearing from you again soon

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]
732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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Sent: 20 April 2022 14:46
To: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Dear [REDACTED]

As I do not deal with the administration of Committee I can not confirm which committee the case will go too, but I believe it is intended to move the cases from the cancelled agenda to the next available meeting on the 8th June. I have however forwarded your email to the Governance section and have explained the situation regarding your case and have asked them to confirm to you as to which committee the case will be reported too.

Kind Regards

Eva Quille

Deputy Planning Manager - Finchley and Golders Green Team
Development Management & Building Control Service

2 Bristol Avenue, Colindale NW9 4EW

Tel: 020 8359 4380

Email: eva.quille@barnet.gov.uk

Barnet Online: www.barnet.gov.uk

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From: [REDACTED] <[REDACTED]@cranbrook.co.uk>

Sent: 20 April 2022 13:22

To: Quille, Eva <Eva.Quille@Barnet.gov.uk>

Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>

Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good afternoon Eva

Thank you for your email

We are obviously very disappointed to hear that the committee meeting has been cancelled

However, we understand that the next committee is scheduled for 8th June – has our application been confirmed for that committee ?

Also, what is the closing date for submission of planning applications/cases with respect to the committee meeting planned for 8th June ?

We look forward to hearing from you

Kind regards

[Redacted]

Senior Architectural Designer

Cranbrook

Basement design & construction

[Redacted]

732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: Quille, Eva <Eva.Quille@Barnet.gov.uk>

Sent: 20 April 2022 11:43

To: [Redacted] <[\[Redacted\]@cranbrook.co.uk](mailto:[Redacted]@cranbrook.co.uk)>

Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>

Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Dear [Redacted]

Thank you for your email. I have also been advised by our Committee Section that unfortunately the Committee on the 27th April has been cancelled. I have passed your query to the Committee Section to respond to you directly, as they organise the agenda for the different committees and therefore are best placed to advise you of the next likely date when the application will now be heard.

I apologise for the inconvenience and delays caused and if you require any further assistance over this matter please do not hesitate to contact me.

Kind Regards

Eva Quille

Deputy Planning Manager - Finchley and Golders Green Team

Development Management & Building Control Service

2 Bristol Avenue, Colindale NW9 4EW

Tel: 020 8359 4380

Email: eva.quille@barnet.gov.uk

Barnet Online: www.barnet.gov.uk

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From: [REDACTED] <[REDACTED]@cranbrook.co.uk>

Sent: 20 April 2022 11:19

To: Quille, Eva <Eva.Quille@Barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>

Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good afternoon Emily, Eva

It appears from your website that Committee A on 27th April has been cancelled

[Browse meetings - Planning Committee A | Barnet Council \(moderngov.co.uk\)](#)

Can you confirm if this is the case, and if so provide us with an alternative date ?

Kind regards

[REDACTED]

Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]

732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: [REDACTED]
Sent: 19 April 2022 08:30
To: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Good morning Eva

I hope that you are well

Has our application now been confirmed for committee on 27th April?

Kind regards

[REDACTED]

Senior Architectural Designer

Cranbrook

Basement design & construction

[REDACTED]

732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: Quille, Eva
Sent: 20 April 2022 11:43
To: [REDACTED]@cranbrook.co.uk>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Planning.Committees <Planning.Committees@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Dear [REDACTED]

Thank you for your email. I have also been advised by our Committee Section that unfortunately the Committee on the 27th April has been cancelled. I have passed your query to the Committee Section to respond to you directly, as they organise the agenda for the different committees and therefore are best placed to advise you of the next likely date when the application will now be heard.

I apologise for the inconvenience and delays caused and if you require any further assistance over this matter please do not hesitate to contact me.

Kind Regards

Eva Quille

Deputy Planning Manager - Finchley and Golders Green Team
Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW

Tel: 020 8359 4380

Email: eva.quille@barnet.gov.uk

Barnet Online: www.barnet.gov.uk

www.re-ltd.co.uk

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From: [REDACTED]@cranbrook.co.uk>

Sent: 20 April 2022 11:19

To: Quille, Eva <Eva.Quille@Barnet.gov.uk>; Bell, Emily <Emily.Bell@Barnet.gov.uk>

Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good afternoon Emily, Eva

It appears from your website that Committee A on 27th April has been cancelled

[Browse meetings - Planning Committee A | Barnet Council \(moderngov.co.uk\)](#)

Can you confirm if this is the case, and if so provide us with an alternative date ?

Kind regards

[Redacted]

Senior Architectural Designer

Cranbrook

Basement design & construction

[Redacted]

732 Cranbrook Road
Ilford
Essex IG6 1HU

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[Redacted]

Sent: 19 April 2022 08:30

To: Quille, Eva <Eva.Quille@Barnet.gov.uk>

Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Good morning Eva

I hope that you are well

Has our application now been confirmed for committee on 27th April?

Kind regards

[Redacted]

Senior Architectural Designer

Cranbrook

Basement design & construction

[Redacted]

732 Cranbrook Road
Ilford
Essex IG6 1HU

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From: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Sent: 05 April 2022 18:36
To: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Dear [REDACTED]

Further to my email yesterday I confirm that the report has now been cleared and forwarded to the Committee Section.

I have also spoken to the Committee Section and currently it is planned for the application to be reported to Planning Committee A on 27 April 2022

I hope the above is of assistance and if you require any further information please do not hesitate to contact me.

I thank you again for your patience over this matter.

Kind Regards

Eva Quille
Deputy Planning Manager - Finchley and Golders Green Team
Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
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From: [REDACTED] <[REDACTED]@cranbrook.co.uk>
Sent: 04 April 2022 12:35
To: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good afternoon Eva

Thank you for your email, and I look forward to receiving your further update tomorrow

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook

Basement design & construction



732 Cranbrook Road
Ilford
Essex IG6 1HU



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From: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Sent: 04 April 2022 12:23
To: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Dear [REDACTED]

Thank you for your email.

Firstly I apologise for the delay in my response and for the delays that you have experienced.

Unfortunately I am not in the office today, but I will speak to the case officer regarding the progress of the application and revert back to you tomorrow regarding the delays in determining the case and the likely timescales for a determination date. In the meantime I can confirm that the report has been written and is currently in the process of being cleared by a manager. Once cleared it will be forwarded to Governance. This department assigns which cases are to be heard at which committees.

I thank you for your patience and understanding so far, and once again apologise for the delays that you and your client have experienced.

Kind Regards

Eva Quille
Deputy Planning Manager - Finchley and Golders Green Team
Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
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[Redacted] <[Redacted]@cranbrook.co.uk>

Sent: 22 March 2022 13:37

To: Quille, Eva <Eva.Quille@Barnet.gov.uk>

Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>

Subject: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good afternoon Eva

We understand that you are Emily Bell's Line Manager. Emily is dealing with our application ref: No 21/6722/HSE which was submitted in December of last year

Emily has generally been very helpful, but it has now been several weeks since we last heard from her and this is slightly concerning given that we were originally told that the application would go before the planning committee around mid-March

We would appreciate it if yourself or Emily could provide an explanation via email as to why we are having to wait so long for the committee date to be confirmed

As we've communicated to Emily previously, we don't really mind waiting for the committee, but it would be good to at least have some certainty surrounding the date

Our clients are now getting understandably quite concerned about this matter, so any certainty that you can offer would be very much appreciated

We look forward to hearing from you

Kind regards

[Redacted]

Senior Architectural Designer

Cranbrook

Basement design & construction

[Redacted]

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Please note: Information contained in this e-mail may be subject to public disclosure under the Freedom of Information Act 2000 or the Environmental Information Regulations 2004.

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This message has been scanned by Exchange Online Protection.

From: Quille, Eva
Sent: 20 April 2022 11:21
To: Planning.Committees <Planning.Committees@Barnet.gov.uk>
Subject: FW: Application No 21/6722/HSE - 40 Corringham Road

Hi

I have received the following email from an agent. Please can you advise him that the case will not now be heard at the committee and the likely future date that it will be determined.

Kind Regards

Eva Quille
Deputy Planning Manager - Finchley and Golders Green Team
Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW

Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
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From: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>
Sent: 19 April 2022 08:30
To: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good morning Eva

I hope that you are well

Has our application now been confirmed for committee on 27th April?

Kind regards



Senior Architectural Designer

Cranbrook

Basement design & construction



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Essex IG6 1HU

www.cranbrook.co.uk



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From: Quille, Eva <Eva.Quille@Barnet.gov.uk>

Sent: 05 April 2022 18:36

To: [Redacted] <[\[Redacted\]@cranbrook.co.uk](mailto:[Redacted]@cranbrook.co.uk)>

Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Dear [Redacted]

Further to my email yesterday I confirm that the report has now been cleared and forwarded to the Committee Section.

I have also spoken to the Committee Section and currently it is planned for the application to be reported to Planning Committee A on 27 April 2022

I hope the above is of assistance and if you require any further information please do not hesitate to contact me.

I thank you again for your patience over this matter.

Kind Regards

Eva Quille

Deputy Planning Manager - Finchley and Golders Green Team
Development Management & Building Control Service

2 Bristol Avenue, Colindale NW9 4EW

Tel: 020 8359 4380

Email: eva.quille@barnet.gov.uk

Barnet Online: www.barnet.gov.uk

www.re-ltd.co.uk

Please note I work part time. My usual hours of working are Tuesday and Wednesday all day and Thursday morning.

For queries relating to the Council's Fast Track Scheme, please email planning.premium@barnet.gov.uk

For queries relating to the Pre-Application requests, please email planning.preapp@barnet.gov.uk

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From: [REDACTED] <[REDACTED]@cranbrook.co.uk>
Sent: 04 April 2022 12:35
To: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good afternoon Eva

Thank you for your email, and I look forward to receiving your further update tomorrow

Kind regards



Senior Architectural Designer

Cranbrook

[REDACTED]
732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Sent: 04 April 2022 12:23
To: [REDACTED] <[\[REDACTED\]@cranbrook.co.uk](mailto:[REDACTED]@cranbrook.co.uk)>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Dear [REDACTED]

Thank you for your email.

Firstly I apologise for the delay in my response and for the delays that you have experienced.

Unfortunately I am not in the office today, but I will speak to the case officer regarding the progress of the application and revert back to you tomorrow regarding the delays in determining the case and the likely timescales for a determination date. In the meantime I can confirm that the report has been written and is currently in the process of being cleared by a manager. Once cleared it will be forwarded to Governance. This department assigns which cases are to be heard at which committees.

I thank you for your patience and understanding so far, and once again apologise for the delays that you and your client have experienced.

Kind Regards

Eva Quille
Deputy Planning Manager - Finchley and Golders Green Team
Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
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From: [REDACTED] <[REDACTED]@cranbrook.co.uk>
Sent: 22 March 2022 13:37
To: Quille, Eva <Eva.Quille@Barnet.gov.uk>
Cc: Bell, Emily <Emily.Bell@Barnet.gov.uk>; Kevin O'Connor <K.OConnor@cranbrook.co.uk>
Subject: Application No 21/6722/HSE - 40 Corringham Road

**** Warning External Email ****

Good afternoon Eva

We understand that you are Emily Bell's Line Manager. Emily is dealing with our application ref: No 21/6722/HSE which was submitted in December of last year

Emily has generally been very helpful, but it has now been several weeks since we last heard from her and this is slightly concerning given that we were originally told that the application would go before the planning committee around mid-March

We would appreciate it if yourself or Emily could provide an explanation via email as to why we are having to wait so long for the committee date to be confirmed

As we've communicated to Emily previously, we don't really mind waiting for the committee, but it would be good to at least have some certainty surrounding the date

Our clients are now getting understandably quite concerned about this matter, so any certainty that you can offer would be very much appreciated

We look forward to hearing from you

Kind regards

[Redacted]

Senior Architectural Designer

Cranbrook

Basement design & construction

[Redacted]

732 Cranbrook Road
Ilford
Essex IG6 1HU

www.cranbrook.co.uk



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From: Quille, Eva
Sent: 05 April 2022 13:43
To: [REDACTED]@Barnet.gov.uk>
Subject: 21/6722/HSE - 40 Corringham Road

Hi

Wondered if you help please. Lesley sent the following application to you yesterday 21/6722/HSE - 40 Corringham Road. Is it possible to give an indication yet where it is on the taxi rank/when it is likely to be heard by the committee. The agent is chasing for a decision and we had it for a while so I am trying to manage the agents expectations.

Kind Regards

Eva Quille
Deputy Planning Manager - Finchley and Golders Green Team

Development Management & Building Control Service
2 Bristol Avenue, Colindale NW9 4EW
Tel: 020 8359 4380
Email: eva.quille@barnet.gov.uk
Barnet Online: www.barnet.gov.uk
www.re-ltd.co.uk

Please note I work part time. My usual hours of working are Tuesday and Wednesday all day and Thursday morning.

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For queries relating to the Pre-Application requests, please email planning.preapp@barnet.gov.uk

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Senior Architect

Cranbrook

Basement design & construction

732 Cranbrook Road
Ilford
Essex IG6 1HU

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-----Original Message-----

From: [REDACTED]
Sent: 07 March 2022 08:49
To: Bell, Emily <Emily.Bell@Barnet.gov.uk>
Cc: Kevin O'Connor <K.OConnor@cranbrook.co.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Good morning Emily

It has been a week since we were last in contact, and we wondered if you can now provide us with an update?

Both ourselves and our client are very keen to know when this application will be going to committee

We look forward to hearing from you

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook
Basement design & construction

[REDACTED]
732 Cranbrook Road
Ilford
Essex IG6 1HU

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-----Original Message-----

From: Bell, Emily <Emily.Bell@Barnet.gov.uk>
Sent: 28 February 2022 15:16
To: [REDACTED]@cranbrook.co.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Good afternoon [REDACTED]

The date for this application to go to committee is not yet confirmed however, I will keep you updated.

Kind regards,
Emily Bell
Planning Officer
Finchley and Golders Green
Development and Regulatory Services
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 3589 | Web: barnet.gov.uk

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Carter, Richard

From: [REDACTED]@cranbrook.co.uk>
Sent: 28 February 2022 09:23
To: Bell, Emily
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

** Warning External Email **

Good morning Emily

I have tried to contact you by phone this morning

Can you please confirm the committee date for our application

I look forward to hearing from you

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook
Basement design & construction

[REDACTED]
732 Cranbrook Road
Ilford
Essex IG6 1HU

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-----Original Message-----

From: [REDACTED]
Sent: 23 February 2022 14:45
To: Emily.Bell@barnet.gov.uk
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Good afternoon Emily

Can you please provide an update on the committee confirmation date?

Will the application be on the agenda for mid-March as you previously indicated ?

I look forward to hearing from you

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook
Basement design & construction

[REDACTED]
732 Cranbrook Road
Ilford
Essex IG6 1HU

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-----Original Message-----

From: [REDACTED]
Sent: 17 February 2022 14:39
To: Bell, Emily <Emily.Bell@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Good afternoon Emily

Are you able to confirm the committee date now?

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook
Basement design & construction




26-28 Hammersmith Grove
London W6 7BA

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-----Original Message-----

From: 
Sent: 15 February 2022 08:42
To: Bell, Emily <Emily.Bell@Barnet.gov.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Morning Emily

As discussed last week, please find our tree protection plan attached

We look forward to receiving confirmation of the committee date

Kind regards



Senior Architectural Designer

Cranbrook
Basement design & construction



26-28 Hammersmith Grove

London W6 7BA

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-----Original Message-----

From: [REDACTED]
Sent: 10 February 2022 09:39
To: Bell, Emily <Emily.Bell@Barnet.gov.uk>
Subject: Application No 21/6722/HSE - 40 Corringham Road

Good morning Emily

Please find attached the further revised drawing pack, along with a letter which addresses the points raised by the objectors

The use of the basement is addressed by the drawings and the letter attached, but please do let us know if you need any further information from us

Finally, are you able to confirm the committee date at this stage ?

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook
Basement design & construction

[REDACTED]
26-28 Hammersmith Grove
London W6 7BA

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-----Original Message-----

From: Bell, Emily <Emily.Bell@Barnet.gov.uk>
Sent: 09 February 2022 17:12
To: [REDACTED]@cranbrook.co.uk>
Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Good afternoon [REDACTED]

Thanks for sending the updated drawing pack. Please could you indicate on the plans the proposed use of the rooms within the basement. Will these be used for ancillary use to the single family dwelling?

Kind regards,
Emily Bell
Planning Officer
Finchley and Golders Green
Development and Regulatory Services
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 3589 | Web: barnet.gov.uk

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-----Original Message-----

From: [REDACTED]@cranbrook.co.uk>
Sent: 09 February 2022 15:09
To: Bell, Emily <Emily.Bell@Barnet.gov.uk>
Subject: Application No 21/6722/HSE - 40 Corringham Road

** Warning External Email **

Good afternoon Emily

Further to your earlier email, please find attached the updated planning drawings pack, which contains the following revised drawings;

1. 2334-200.1-A-Proposed Basement & Ground Floor

2. 2334-202.1-A-Proposed Front & Rear Elevation

The ground floor plan now shows planting in front of the light-well and, also that parking for two vehicles will be retained within the driveway

Drawing ref 2334-202.1-A now includes a proposed front elevation which illustrates the light-well elevation

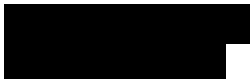
Please can you let me know if the application is likely to be recommended for approval, and if so, when is it likely to go before the planning committee

Many thanks

Kind regards


Senior Architectural Designer

Cranbrook
Basement design & construction



26-28 Hammersmith Grove
London W6 7BA

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-----Original Message-----

From: Bell, Emily <Emily.Bell@Barnet.gov.uk>

Sent: 04 February 2022 13:17

To: @cranbrook.co.uk>

Subject: RE: Application No 21/6722/HSE - 40 Corringham Road

Good afternoon 

Thanks for your email. Please would you be able to provide proposed front elevation to show the front lightwell. It might be that some planting is required around this.

It may also be useful to comment on some of the objections e.g. Will parking provision remain as existing on the site.

Kind regards,
Emily Bell
Planning Officer
Finchley and Golders Green
Development and Regulatory Services
London Borough of Barnet, 2 Bristol Avenue, Colindale, NW9 4EW
Tel: 020 8359 3589 | Web: barnet.gov.uk

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-----Original Message-----

From: [REDACTED]@cranbrook.co.uk>
Sent: 01 February 2022 10:03
To: Bell, Emily <Emily.Bell@Barnet.gov.uk>
Subject: Application No 21/6722/HSE - 40 Corringham Road

** Warning External Email **

Morning Emily

I have tried to contact you by phone this morning, but have been unable to reach you

Please can you let me know the best number to contact you on, or give me a call please

I would like to know whether you are minded to recommend our application for approval

I look forward to hearing from you

Kind regards

[REDACTED]
Senior Architectural Designer

Cranbrook
Basement design & construction

[REDACTED]
[REDACTED]
26-28 Hammersmith Grove
London W6 7BA

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-----Original Message-----

From: Emily.Bell@barnet.gov.uk <Emily.Bell@barnet.gov.uk>

Sent: 29 December 2021 11:42

To: [REDACTED]@cranbrook.co.uk>

Subject: Registration Letter for Application No 21/6722/HSE

Dear Sir/Madam

Please see letter attached in respect of your recent application.

Yours faithfully,

Emily Bell

Planning Assistant

Finchley and Golders Green Area Team

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